



**City of Pittsburg
Zoning Administrator Agenda**

August 3, 2023

**City Hall
First Floor Conference Room 4B
65 Civic Avenue, Pittsburg, CA 94565**

2:00 P.M.

CALL TO ORDER

DELETIONS, WITHDRAWALS OR CONTINUANCES

COMMENTS FROM THE AUDIENCE (For items not listed on the agenda.)

PUBLIC HEARINGS

1. 2114 Chestnut Drive Setback Variance, AP-23-0064 (VA).

This is a Zoning Administrator consideration of a Variance Application to allow a two-foot, three inches (2'-3") side-yard setback, where four feet (4'-0") minimum is required, to legalize an existing unpermitted 338 square-foot Accessory Dwelling Unit (ADU) attached to an existing single-family dwelling located at 2114 Chestnut Drive in the RS-6 (Single-Family Residential, 6,000 Square Feet Minimum) District.

This project is delegated to the Zoning Administrator under PMC section 18.32.010 and 18.850.C.

ADJOURNMENT

NOTICE TO PUBLIC

GENERAL INFORMATION

A decision by the Zoning Administrator is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal either the denial, approval or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for Planning Commission consideration and public notice given.

The Zoning Administrator requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the meeting. Please turn off or set to vibrate all cellular phones and pagers, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior during the meeting, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the meeting is a violation of Municipal Code, and the Zoning Administrator can direct any person who engages in such conduct to leave the meeting.

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for the meeting will be made available in appropriate alternative formats. If you need special assistance to participate in this meeting, or wish to request a specially formatted agenda, please contact the City Planner at 925-252-4920. Notification at least 24 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)



Memorandum

MEMO: August 3, 2023
TO: Zoning Administrator
FROM: Maurice Brenyah-Addow, Senior Planner

RE: Consideration of a Variance to reduce the required side-yard setback from 4' feet to 2' feet 3" inches to permit for an Accessory Dwelling Unit at 2114 Chestnut Drive, AP-23-0064 (VA)

ORIGINATED BY: Javier Garcia, 2114 Chestnut Drive, Pittsburg, CA 94565

SUBJECT: This is a public hearing on the Zoning Administrator's consideration of a Variance Application to allow a two-foot-three-inch (2'-3") side-yard setback, where four feet (4'-0") minimum is required, to legalize an existing unpermitted 338 square-foot Accessory Dwelling Unit (ADU) attached to an existing single-family dwelling located at 2114 Chestnut Drive in the RS-6 (Single-Family Residential, 6,000 Square Feet Minimum) District. Assessor's Parcel Number: 089-360-031.

RECOMMENDATION: Staff recommends that the Zoning Administrator adopt a Resolution approving Planning Application No. AP-23-0064.

BACKGROUND:

The applicant has constructed a 338 square-foot ADU addition to his residence located at 2114 Chestnut Drive. To legalize it, the applicant has submitted an application and plans to the Building Division for review and approval. Upon review staff noticed that the ADU has been constructed approximately one foot seven inches into the four-foot minimum side-yard setback required for ADUs. The applicant is requesting a Variance to allow for the encroachment into the required setback as the ADU is already constructed. Final compliance with the applicable side yard setback regulation would necessitate partial demolition of approximately 60 square feet of the modest 338 square-foot ADU, resulting in only a 278 square-foot ADU.

The Variance application was filed on May 4, 2023. The Notice of Intent to Conduct a Zoning Administrator Public Hearing for this item was provided to the Planning Commission on July 11, 2023.

PROJECT DESCRIPTION:

Existing Conditions: The subject site is a 12,369 square-foot parcel located at the

northwest terminus of Chestnut Drive, east of La Pintado Court. The site was originally developed in 1978 and it contains a single-family dwelling.

Proposed Project: The applicant is requesting Zoning Administrator approval of a setback variance to legalize an existing, unpermitted attached ADU. The unpermitted addition encroaches into the required four-foot side-yard setback.

CODE COMPLIANCE:

The subject site is in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum) District. Pittsburg Municipal Code (PMC) section 18.50.315 allows for the establishment of ADUs in residentially zoned districts, subject to prescribed size, height, and setback standards. The unpermitted attached ADU meets the height and size requirements but fails to meet the four-foot minimum setback requirement. The applicant therefore is requesting a side yard setback Variance to reduce the required four-foot setback to two feet and three inches.

Required Findings: Pursuant to PMC section 18.16.050, the Zoning Administrator may grant a Variance from the required side-yard setback if they can make the three required findings that:

- a. Because of special circumstances concerning the subject property including size, shape, topography, location or surroundings, the strict application of zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;
- b. The Variance will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district; and
- c. The Variance substantially complies with the intent and purpose of the land use district to which the property is classified.

Environmental: This item is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Minor alterations to existing facilities" of the State CEQA Guidelines, section 15301.

Public Noticing: On or prior to July 21, 2023, notice of the August 3, 2023 public hearing was posted at City Hall, near the subject site, and on the 'Public Notices' section of the City's website; the notice was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the "Woodland Hills" neighborhood.

STAFF ANALYSIS:

Staff believes that the Zoning Administrator can make all the required findings to approve the Variance request for the 338 square-foot ADU addition as explained below:

- a. Because of special circumstances concerning the subject property including size, shape, topography, location or surroundings, the strict application of zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;

This finding can be made because the location of the primary residential structure at the site is close to the side yard property line and the existing layout of the floor plan of the primary residence constrains the siting of an ADU. The existing lot is a trapezoid shape with non-parallel side yard property lines which constrains the development of lot. Compliance with the applicable setback regulation at that particular location would necessitate partial demolition of approximately 60 square feet of the modest 338 square-foot ADU, resulting in only a 278 square-foot ADU.

- b. The Variance will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district; and

This finding can be made because the parcel is a trapezoid lot with extraordinary setback requirements and neighboring parcels within the same zoning district are able to construct ADU's. Granting a variance will not be materially detrimental to other properties or set a significant land use precedent.

- c. The Variance substantially complies with the intent and purpose of the land use district to which the property is classified.

This finding can be made because ADUs are permitted uses in the RS-6 zone and essential in addressing the ongoing affordable housing crisis in California. In this regard, reducing the side yard setback Variance to allow for the ADU substantially complies with the intent and purpose of the RS-6 land use district.

REQUIRED ACTION:

Move to adopt Resolution 10233, approving Variance Application No. AP-23-0064.

ATTACHMENTS:

1. Proposed Resolution
2. Project Plans
3. Site Photos
4. Property Development Regulations
5. Public Hearing Notice/Vicinity Map

APPLICABLE CONSTRUCTION CODES:

- 2022 CALIF. BUILDING CODE (C.B.C.)
- 2022 CALIF. RESIDENTIAL CODE (C.R.C.)
- 2022 CALIF. PLUMBING CODE (C.P.C.)
- 2022 CALIF. ELECTRICAL CODE (C.E.C.)
- 2022 CALIF. MECHANICAL CODE (C.M.C.)
- 2022 CALIF. GREEN BUILDING STANDARD CODE (C.G.B.S.C.)
- 2022 CALIF. ENERGY EFFICIENCY STANDARDS (C.E.E.S.)
- 2022 CALIF. FIRE CODE (CFC)

SHEET INDEX:

- A.0 NOTES
- A.01 SITE PLAN
- A.1 PROPOSED FLOOR PLAN
- A.1 EXISTING FLOOR PLAN
- A.2 RAISED FOUNDATION
- A.2 ROOF FRAMING PLAN
- A.3 FLOOR PLAN
- A.4 ELEVATIONS
- A.4 SECTIONS
- A.5 PLUMBING PLAN
- A.6 NAILING SCHEDULE

SCOPE OF WORK:

- 1. ATTACHED ADU
- 2. PLUMBING
- 3. ELECTRICAL
- 4. MECHANICAL

OCCUPANCY GROUP: R-3

TYPE OF CONSTRUCTION: V-B

SPRINKLERS: NO

STORIES: SINGLE STORY

LOT SIZE= 12,369 SQ.FT. (E) RESIDENCE = 1,420 SQ. FT.

(E) TWO CAR GARAGE= 420 SQ. FT.

(E) COVERED FRONT PATIO= 25 SQ. FT.

(E) SHED= 120 SQ. FT.

(E) DETACHED COVERED PATIO= 240 SQ.FT.

ATTACHED ADU= 338 SQ. FT.

ELECTRICAL:

- 1. A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET C.E.C. ART.210.11 (C) (2) & 210.52 (F).
- 2. DELETE

- 3. ELECTRICAL PLANS TO BE IN COMPLIANCE WITH CALIF. ENERGY CODE SECTION 150 (K) FOR NEW LIGHTING, WHICH INCLUDES THE FOLLOWING:

- A. AT BATHROOMS, LIGHTING IN THESE ROOMS ARE HIGH EFFICACY LUMINARIES OR TO COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. PROVIDE A MANUAL ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH C.E.C. SECTION 119 (D) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON.
- B. AT OTHER ROOMS (BEDROOMS, HALLWAYS, STAIRS, ATTICS, LIGHTS IN THESE ROOMS ARE ARE EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. PROVIDE DIMMER SWITCH
 - b. CLOSETS LESS THAN 70 SQ. FT. ARE EXEMPT FROM THE LIGHTING REQUIREMENTS.
- C. OUTDOOR LIGHTING, THAT ALL LIGHTS PERMANENTLY MOUNTED TO THE RESIDENTIAL BUILDING OR TO OTHER BUILDING ON SAME LOT ARE HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. LIGHTS ARE TO BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY AN INTEGRAL PHOTO-CONTROL NOT HAVING AN OVERRIDE OR BYPASS
- 4. ALL RECEPTACLE OUTLETS TO BE TAMPER RESISTANT PER CEC 406.12
- 5. ALL EXTERIOR RECEPTACLES OUTLETS TO BE BOTH WP AND GFCI.

GENERAL NOTES:

- 1. DETAILS AND NOTES INDICATED ON THIS SHEET ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE DRAWN OR NOTED. DETAILS OF CONSTRUCTION NOT FULLY SHOWN, SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.
- 2. COMPARISON OF STRUCTURAL DRAWINGS WITH REFERENCE TO MATERIALS, LAYOUT DIMENSIONS AND ELEVATIONS SHALL BE MADE BY THE GENERAL CONTRACTOR BEFORE STARTING WORK ANY DISCREPANCIES SHALL BE REFERRED TO THE DESIGNER OR ENGINEER FOR REVISED DIRECTION.
- 3. CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF ALL ELEMENTS BEFORE REMOVING ANY EXISTING CONSTRUCTION AND PROVIDE SHORING, BRACING, AND OR SUPPORT AS REQUIRED TO MAINTAIN SAFE CONDITIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION.
- 4. CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE DURING THE CONSTRUCTION PERIOD FOR ALL CONDITIONS AT THE CONSTRUCTION SITE INCLUDING SAFETY OF PROPERTY AND PERSONS. THE DESIGNER OR ENGINEER VISITS TO THE CONSTRUCTION SITE ARE NOT INTENDED, NOR THEY BE CONSTRUED TO INCLUDE A REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES.
- 5. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODES LATEST EDITION AS ADOPTED BY THE CONTROLLING JURISDICTION.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL AND OR CITY BUILDING CODES AND REQUIREMENTS.
- 7. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT DISCREPANCIES TO THE DESIGNER OR ENGINEER.

CONCRETE:

- 1. CONCRETE SHALL DEVELOP FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS : PIERS, GRADE BEAMS, INTERIOR SLABS ON GRADE AND FOOTINGS FC= 2500 PSI.
- 2. CONCRETE SHALL BE PLACED IN CONTINUOUS OPERATION UNTIL THE SECTION IS COMPLETED BETWEEN PREDETERMINED CONSTRUCTION JOINTS.
- 3. CONCRETE SHALL BE A CONSISTENCY TO PERMIT PLACING INTIMATELY AROUND REINFORCING BARS AND AGAINST FORMS.
- 4. EXPOSED SURFACES OF CONCRETE SHALL BE KEPT MOIST OR CURED BY PROTECTIVE COVERINGS AS NOTED IN SPECIFICATIONS.
- 5. FORMS SHALL BE TIGHT AND CLEAN BEFORE PLACING CONCRETE.
- 6. CHAMFER EDGES OF CONCRETE EXPOSED $\frac{3}{4}$ ", UNLESS OTHERWISE NOTED.

REINFORCEMENT:

- 1. REINFORCEMENTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ASTM A615 GRADE 60 FOR #5 BARS AND LARGER, GRADE 40 FOR #4 BARS AND SMALLER.
- 2. REINFORCING BARS SHALL BE FREE FROM LOOSE RUST AND OF ANY OTHER COATING WHICH WILL DESTROY OR REDUCE BOND.
- 3. REINFORCING BARS SHALL NOT BE BENT OR STRAIGHTEN IN A MANNER WHICH WILL INJURE THE MATERIAL AND SHALL BE ACCURATELY PLACED AND POSITIVELY SECURED.
- 4. THE CLEAR DISTANCE BETWEEN PARALLEL BARS IN A LAYER SHALL NOT BE LESS THAN 1 TIMES THE NOMINAL DIAMETER OF THE BARS, OR $1\frac{1}{2}$ TIMES THE MAXIMUM SIZE AGGREGATE NOR LESS THAN "1".

SPECIAL INSPECTION:

- 1. THE SPECIAL INSPECTION FOR STEEL ELEMENTS OF BUILDING AND STRUCTURES PER PER CBC SECTION 1704.3 AND TABLE 1704.3 IS NOT REQUIRED.
- 2. THE SPECIAL INSPECTIONS AND VERIFICATIONS FOR CONCRETE CONSTRUCTION PER CBC SECTION 1704.4 AND TABLE 1704.4 IS NOT X REQUIRED.
- 3. THE SPECIAL INSPECTION FOR MASONRY CONSTRUCTION PER CBC SECTION 1704.5.1 AND 1704.5.3 IS NOT X REQUIRED.
- 4. SPECIAL INSPECTIONS SHALL BE PERFORMED DURING INSTALLATION AND TESTING OF PILE FOUNDATION AS REQUIRED BY TABLE 1704.8 AND 1704.9
- 5. PERIODIC SPECIAL INSPECTION IS REQUIRED DURING PLACEMENT OF REINFORCEMENT AND CONTINUOUS SPECIAL INSPECTION IS REQUIRED DURING PLACEMENT OF CONCRETE IN PIER FOUNDATION.
- 6. PERIODIC SPECIAL INSPECTIONS IS NOT X REQUIRED FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC-FORCE-RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAFRAM, DRAG STRUTS, BRACES, SHEAR PANELS, AND HOLDOWNS AS REQUIRED.
- 7. SPECIAL INSPECTION IS REQUIRED FOR THE EPOXY OF BOLTS AND REBAR INTO EXISTING CONCRETE.

WOOD:

- 1. LUMBER USED FOR STRUCTURAL PURPOSES SHALL BE DOUGLAS FIR CONFORMING TO THE FOLLOWING MINIMUM GRADES, SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION, AND BE FREE OF HEART CENTER.
 - A. STUDS, PLATES, BLOCKING, D.F. NO. 2
 - B. CONCEALED POST, HEADER (U.N.O.) D. F. NO. 2
 - C. JOISTS AND BEAMS, D.F. NO 1
 - D. SILL PLATES, DECK BEAMS, DECK JOISTS, DECK POSTS, AND DECK LEDGERS P.T.D.F. NO 2 OR BETTER.
 - E. PARALLAM SHALL BE 2.OE WS PARALLAM PSL
 - F. MICROLAM SHALL BE 1 $\frac{3}{4}$ " 1.8E WS MICRO-LAM LVL
 - G. ROOF SHEATHING SHALL BE $\frac{1}{2}$ " CDX APA 24/0 PLYWOOD INSTALLED WITH FACE GRAIN PERPENDICULAR TO FRAMING AND WITH END JOINTS STAGGERED. NAILING SHALL BE 8D NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. IN FIELD. THE ROOF SHEATHING SHALL BE BLOCKED AT PANEL EDGES WITH 2X4'S INSTALLED FLATWISE.
 - H. GLU-LAM SHALL BE 24F-3V DF/DF (A.A.G.) ARCHITECTURAL APPEARANCE GRADE.
 - I. SUBFLOORING SHALL BE $\frac{3}{4}$ " CDX APA 24/0 PLYWOOD INSTALLED WITH FACE GRAIN PERPENDICULAR TO FRAMING AND WITH END JOINTS STAGGERED. NAILING SHALL BE 10D NAILS @ 6" O.C. AT PANEL EDGES AND @ 10" O.C. IN THE FIELD.
- 2. PLYWOOD SHALL BE DOUGLAS FIR STRUCTURAL II CDX OR BETTER.
- 3. TIMBER FASTENERS INDICATED ON DRAWINGS SHALL BE IDENTIFIED BY PROPRIETARY NAMES, OR EQUAL, AND SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS. FASTENERS ARE REFERRED TO BY SIMPSON STRONG-TIE COMPANY DESIGNATION. FOR GENERAL CHARACTERISTICS. SUBSTITUTE FASTENERS MUST HAVE EQUAL OR BETTER STRUCTURAL PROPERTIES.
- 4. NATURALLY DURABLE OR PERSERVATIVE-TREATED WOOD SHALL BE UTILIZED FOR THOSE PORTIONS OF WOOD MEMBERS THAT ARE EXPOSED TO THE WEATHER.

BATHROOMS:

- 1. WATER CLOSET SHALL HAVE A MAX. FLUSHING CAPACITY OF 1.28 GALLONS PER C.P.C. 402.2
- 2. SHOWERS SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET WITH MATERIAL NOT ADVERSELY AFFECTED BY MOISTURE
- 3. SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIX TYPE (ANTI-SCALD) C.P.C. SECTION 410.7
- 4. WINDOWS IN BATHROOMS TO HAVE A MINIMUM NET OPENABLE AREA OF 1.5 SQ. FT.
- 5. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A 20 AMPERE BRANCH CIRCUIT EXCLUSIVE TO THE BATHROOM.
- 6. INSTALL PRESSURE RELIEF VALVE PER C.P.C. SECTION 608.3
- 7. GLAZING IN THE WALL ENCLOSING TUB AND SHOWER LESS THAN 60" ABOVE STANDING SURFACE AND DRAIN INLET.
- 8. SHOWER VALVES SHALL BE AN INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES TO LIMIT THE MIXED WATER TO A MAX. TEMPERTURE OF 120 DEG. FAHRENHEIT C.P.C.
- 9. THE MAIN AREA OF LIGHT FIXTURES IN THE KITCHEN AND IN ROOMS AND SPACES WITH A SHOWER OR BATHTUBS SHALL BE FLOURESCENT OR OTHER APPROVED TYPE PROVIDING AT LEAST 40 LUMENS PER WATT, ALSO THAT SUCH FIXTURES ARE OPERATED BY THE FIRST SWITCH AT THE ENTRY TO THE SPACE.
- 10. PROVIDE G.F.C.I. PROTECTED RECEPTACLE IN BATHROOMS PER C.E.C. ART. 210.8.
- 11. PROVIDE REQUIRED FLOURESCENT FIXTURES IN BATHROOMS PER CALIF. ENERGY STANDARDS SECTION 150 (k) 2.3.
- 12. SHOWER DOORS MUST BE 22" CLEAR OPENING.
- 13. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOM, IF OPENABLE WINDOW IS NOT PROVIDED. DUCTLESS FANS ARE NOT ACCEPTABLE IN ROOMS CONTAINING TUBS OR SHOWERS, SECTION 1203.3.
- 14. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - a. EXHAUST FAN ENERGY STAR CERTIFIED AND HAS HUMIDISTAT CONTROL AND BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
- 15. SHOWER HEADS = 1.8 GPM @ 80 PSI
- 16. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIF. PLUMBING CODE, AND SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIF. PLUMBING CODE.
- 17. EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR COMBINATION TUB/SHOWER SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL PER CRC R303.3.1.
- 18. IN BATHROOMS, GARAGES, LAUNDRY ROOM, AND UTILITY ROOMS, AT LEAST ON LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR (C.E.C.150.0)
- 19. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL BE CONTROLLED BY A HUMIDITY SENSOR, UNLESS FUNCTIONING AS INDOOR AIR QUALITY VENTILATION (CGBSC 4.506.1)
- 20. SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (CRC R308.4.1. AND R308.3)
 - A. GLAZING IN ALL FIXED AND OPENABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
 - B. GLAZING IN AN INDIVIDUAL FIXED OR OPENABLE ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED THAN 60" ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS.
 - C. WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
 - D. WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF DOOR IN A CLOSED AND WITHIN 24" OF THE HINGE SIDE OF AN IN SWINGING DOORS.
 - E. GLAZING IN WALLS ENCLOSURES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
- 21. AT LEAST ONE LUMINAIRE IN THE BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM, MUST BE CONTROLLED BY A VACANCY SENSOR. PRESET SCENE CONTROLLED AND EMCS CAN TAKE THE PLACE OF DIMMERS AS LONG AS THE FUNCTIONALITY MEETS CODE REQUIREMENTS.

General Notes

NOTES

No.	Revision/Issue	Date

Firm Name and Address

JAVIER GARCIA
P. O. BOX 2024
MANTECA, CA. 95336
(209)351-2595

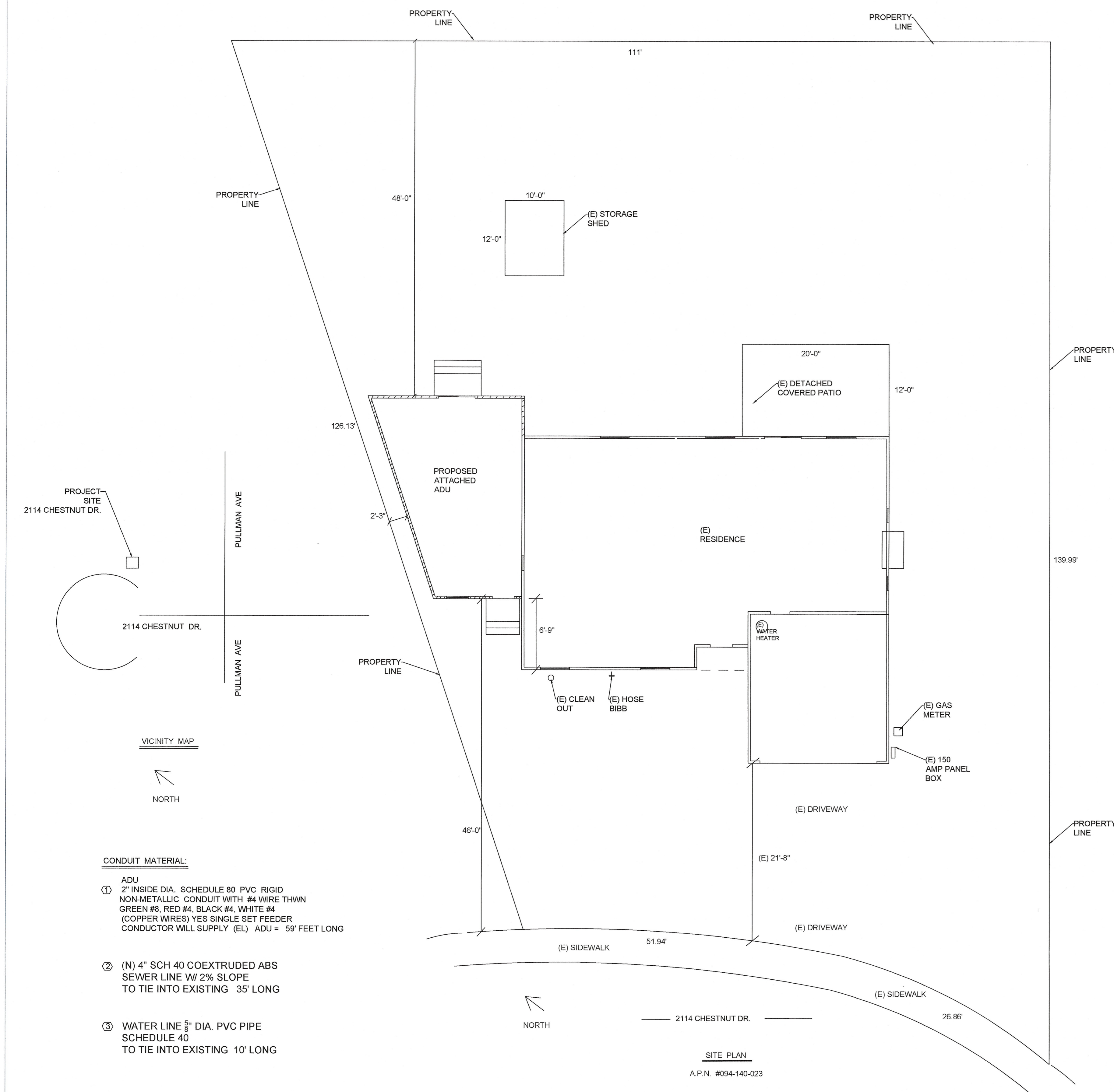
Project Name and Address

TORRES RES.
2114 CHESTNUT DR.
PITTSBURG, CA. 94565

Project	Sheet
Date	A.0
Scale	

EMAIL: javiergarciadetailing@yahoo.com

5-9-2023



- CONDUIT MATERIAL:**
- ADU
 - ① 2" INSIDE DIA. SCHEDULE 80 PVC RIGID NON-METALLIC CONDUIT WITH #4 WIRE THWN GREEN #8, RED #4, BLACK #4, WHITE #4 (COPPER WIRES) YES SINGLE SET FEEDER CONDUCTOR WILL SUPPLY (E) ADU = 59' FEET LONG
 - ② (N) 4" SCH 40 COEXTRUDED ABS SEWER LINE W/ 2% SLOPE TO TIE INTO EXISTING 35' LONG
 - ③ WATER LINE 3/8" DIA. PVC PIPE SCHEDULE 40 TO TIE INTO EXISTING 10' LONG

ELECTRICAL LOAD CALCULATION

JOB ADDRESS: 2114 CHESTNUT DR.

GENERAL LIGHTING
SQ. FT. OF THE EXISTING HOUSE 1,420 SQ. FT. X 3 VOLTS AMPS= 4,260 VA

THE NUMBER OF THE SMALL APPLIANCE CIRCUIT X 1,500 VA
(A MINIMUM OF TWO REQUIRED) = 3,000 VA

LAUNDRY CIRCUIT = 1,500 VA
WATER HEATER = 5,500 VA
COOK TOP = 15,000 VA
AIR CONDITION OR HEATER (WHICH EVER IS LARGER) = 5,000 VA
DRYER = 5,000 VA
ANY MISC. LOADS= 0 VA

SUB TOTALS = 39,860 VA

FIRST 8,000 AT 100% = 8,000 VA

SUB TOTALS = 47,860 VA

BALANCE OF REST AT 40% = 19,144 VA

ADD THE 8,000 + 8,000 VA

TOTAL= 27,144 VA

DIVIDE THE TOTAL BY 240 = 113 + 6.86 = 120 AMPS NEEDED

ELECTRICAL LOAD CALCULATION

JOB ADDRESS: ADU

SQ. FT. OF THE ATTACHED ADU 338 SQ. FT. X 3 VOLTS AMPS= 1,014 VA

THE NUMBER OF THE SMALL APPLIANCE CIRCUIT X 1,500 VA
(A MINIMUM OF TWO REQUIRED) = 3,000 VA

COOK TOP = 15,000 VA
MINI-SPLIT = 18,000 VA
ANY MISC. LOADS= 0 VA

SUB TOTALS = 37,014 VA

FIRST 8,000 AT 100% = 8,000 VA

SUB TOTALS = 45,014 VA

BALANCE OF REST AT 40% = 1800 VA

ADD THE 8,000 + 8,000 VA

TOTAL= 26,005 VA

DIVIDE THE TOTAL BY 240 = 108 + 6.86 = 114 AMPS NEEDED

General Notes

SITE PLAN

No.	Revision/Issue	Date

Firm Name and Address

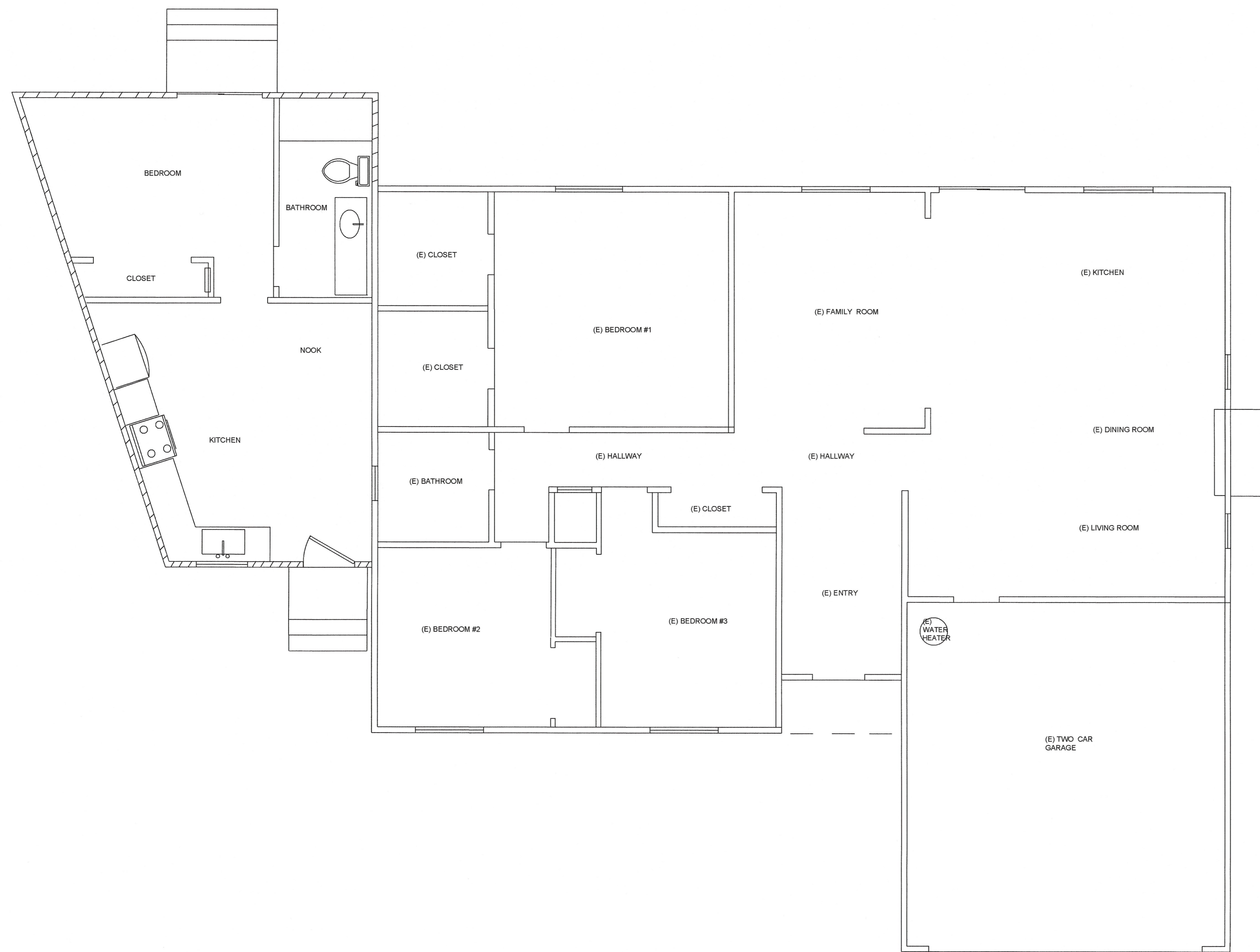
JAVIER GARCIA
P.O. BOX 2024
MANTECA, CA. 95336
(209)351-2595

Project Name and Address

TORRES RES.
2114 CHESTNUT DR.
PITTSBURG, CA.

Project	Sheet
Date 3-25-2023	A.01
Scale 1/8" = 1'-0"	

5-9-2023



PROPOSED AND EXISTING
FLOOR PLAN

General Notes

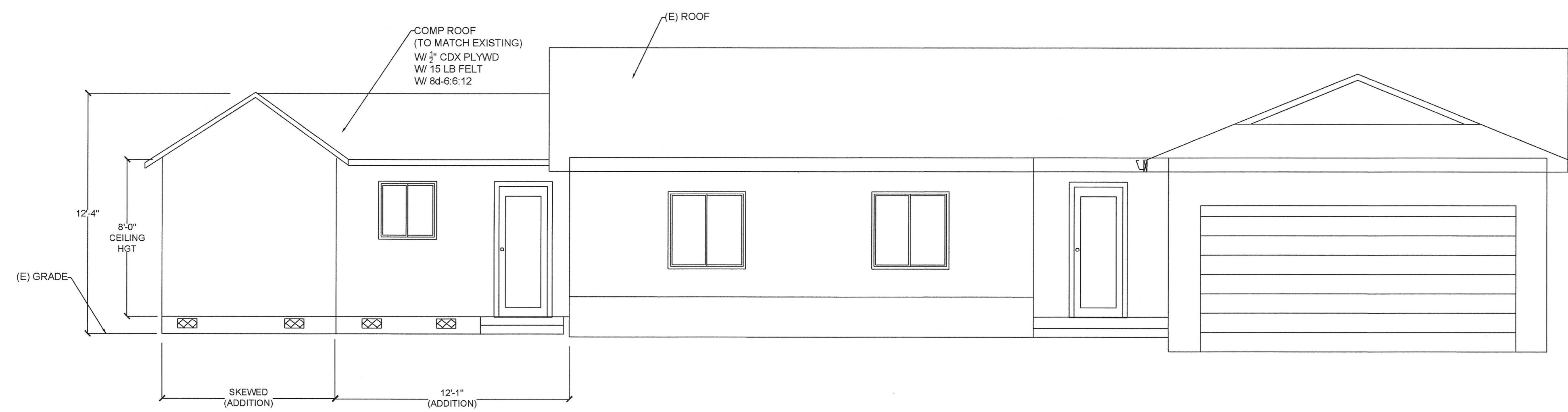
PROPOSED AND EXISTING
FLOOR PLAN

No.	Revision/Issue	Date

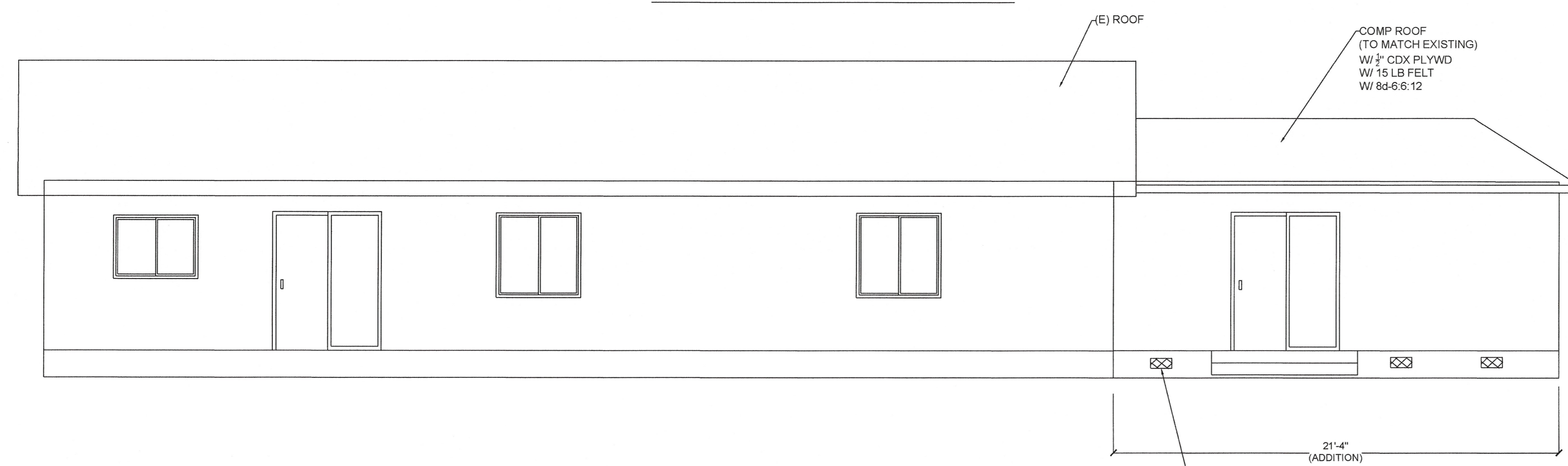
Firm Name and Address
JAVIER GARCIA
 P.O. BOX 2024
 MANTECA, CA. 95336
 (209) 351-2595

Project Name and Address
TORRES RES.
 2114 CHESTNUT DR
 PITTSBURG, CA.

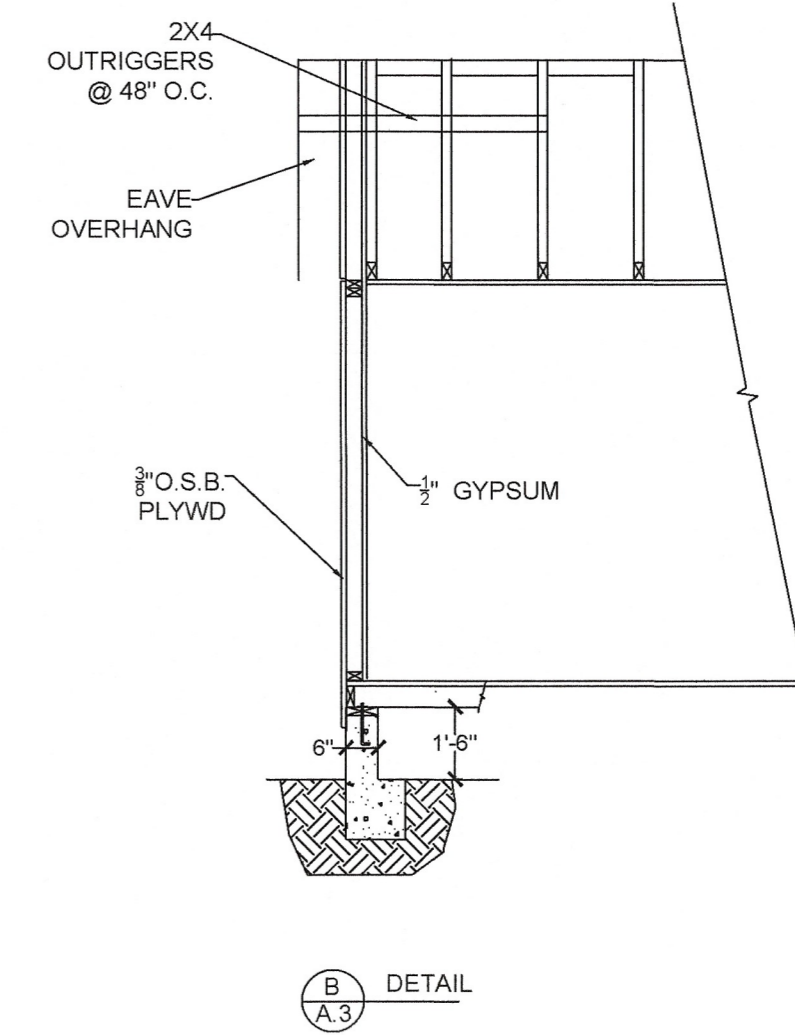
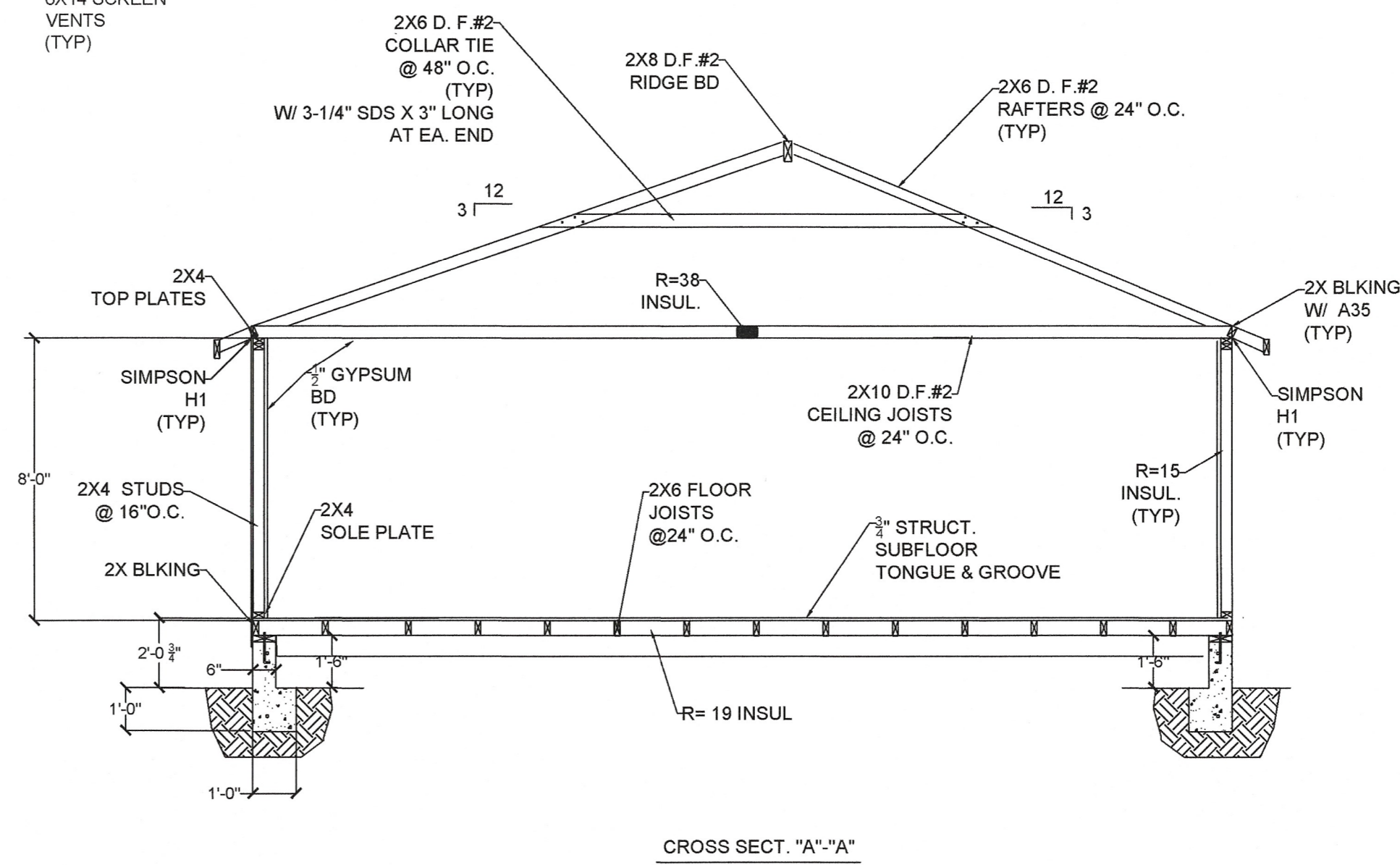
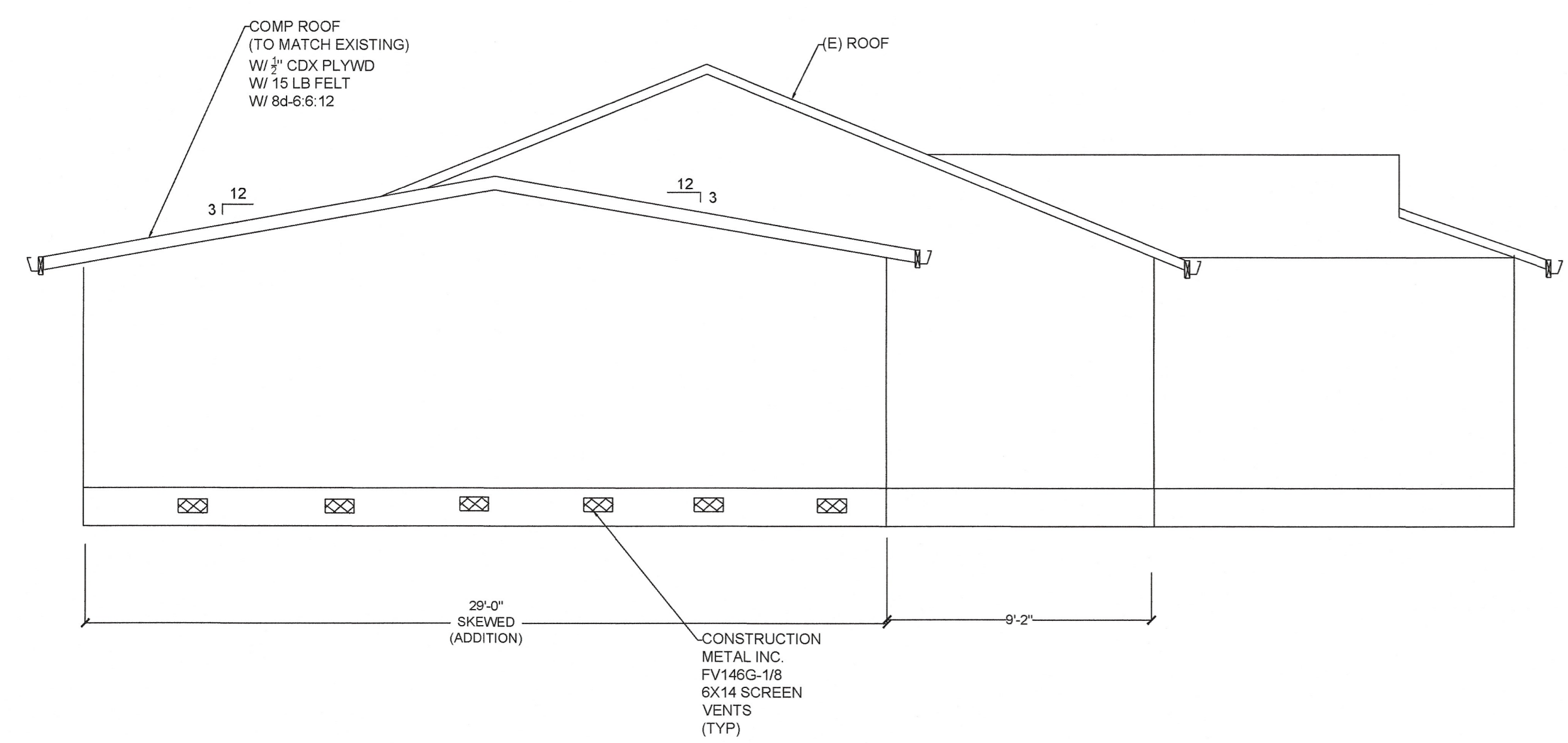
Project	Sheet
Date 3-25-2023	A.1
Scale 1/4"=1'-0"	



EXISTING SOUTH ELEVATIONS



EXISTING SOUTH ELEVATIONS



General Notes

ELEVATIONS
SECTIONS

No.	Revision/Issue	Date

Firm Name and Address
JAVIER GARCIA
 P.O. BOX 2024
 MANTECA, CA. 95336
 (209)351-2595

Project Name and Address
TORRES RES.
 2114 CHESTNUT DR.
 PITTSBURG, CA.

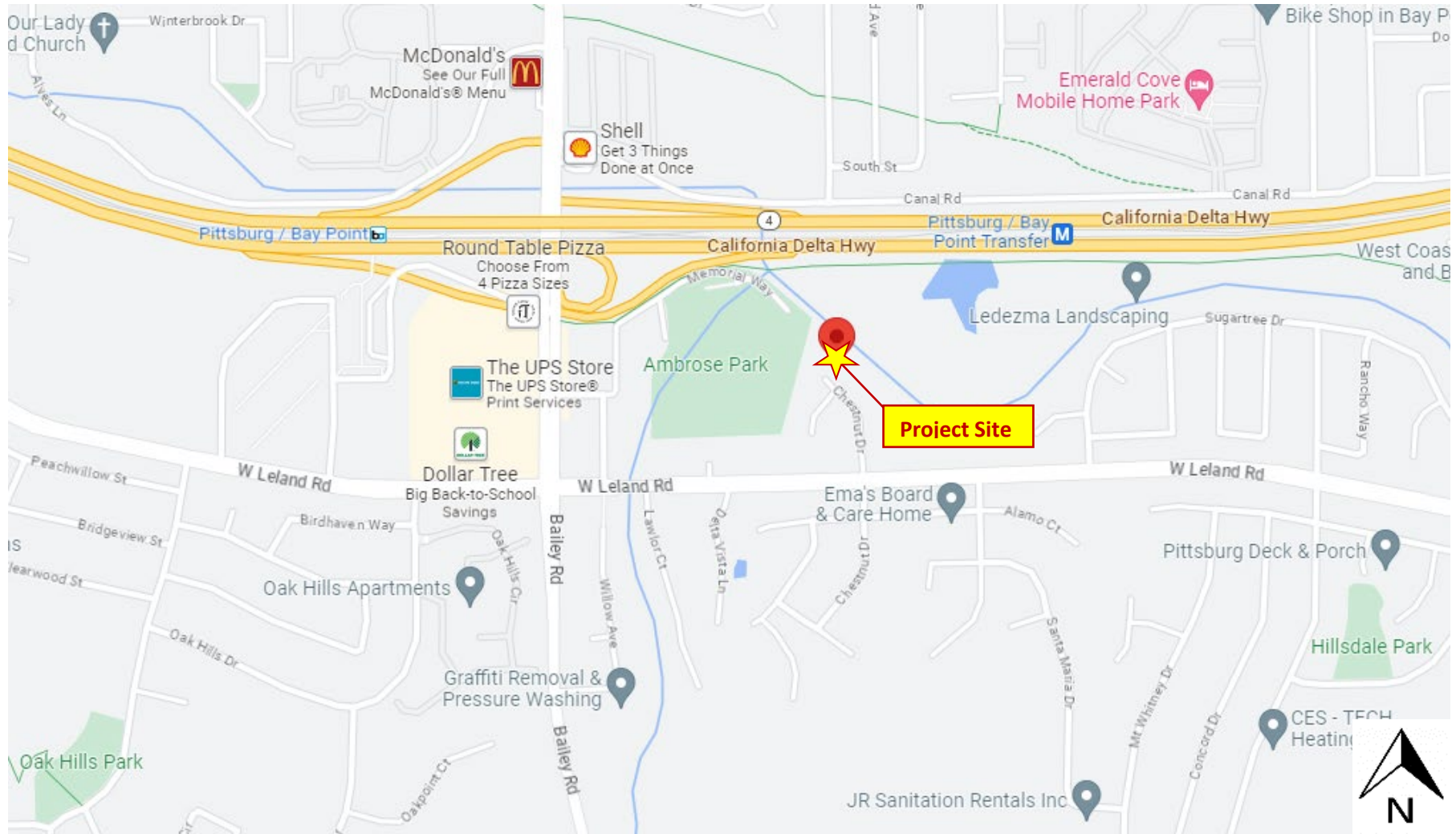
Project	Sheet
Date 3-25-2023	A.3
Scale 1/4"=1'-0"	

5-9-2023

2114 Chestnut Drive Setback Variance –Vicinity Map

Variance (VA)

AP-23-0064	2114 Chestnut Drive, Pittsburg, California 94565
	Assessor's Parcel No. 089-360-031



2114 Chestnut Drive Setback Variance –Vicinity Map

Variance (VA)

AP-23-0064	2114 Chestnut Drive, Pittsburg, California 94565
	Assessor's Parcel No. 089-360-031





City of Pittsburg

Community Development Department – Planning Division

65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

PROJECT REFERRAL & REQUEST FOR COMMENTS/CONDITIONS

Project Name:	2114 Chestnut Drive Setback Variance
Project No: AP-23-0064	Application Type: Variance (VA)
Project Description: Zoning Administrator consideration of a Variance Application to allow a two-foot, three inches (2'-3") side-yard setback, where four feet (4'-0") minimum is required, to legalize an existing unpermitted 338 square-foot Accessory Dwelling Unit (ADU) attached to an existing single-family dwelling located at 2114 Chestnut Drive in the RS-6 (Single-Family Residential, 6,000 Square Feet Minimum) District.	
Assessor's Parcel Number: 089-360-031.	
Applicant:	Javier Garcia
Mailing Address:	P. O. Box 2024, Manteca, CA. 95376
Phone: 209-751-2595	E-mail: javiergarciadetailing@yahoo.com

Instructions for the Referral Agency:

Enclosed are plans for the project identified above which is proposed in the City of Pittsburg. Please review these plans and provide this office with your feedback on availability of services/potential design or code conflicts/requirements for additional permits and recommended conditions of project approval.

Link to plans: https://pittsburgca-my.sharepoint.com/:f:/g/personal/mbrenyah-addow_pittsburgca_gov/EI66fwMMn8JInvTNjDlVfg8BhZZrsiD1YY7OgQzriHsRLw?e=cnUuC5

Deadline for Comments:

Please submit your comments no later than Friday, July 21, 2023.

Comments should be sent to **Maurice Brenyah-Addow** at the mailing address noted above, through e-mail at: mbrenyah-addow@pittsburgca.gov, or by fax at: (925) 252-4814. If you have any questions regarding this project, please call Maurice Brenyah-Addow at (925)252-4261. A list of referral agencies for this project is provided on the next page of this referral.

List of Referral Agencies:

Federal/State/Regional	<input type="checkbox"/> Ambrose Recreation & Park District
<input type="checkbox"/> US Army Corps of Engineers	<input type="checkbox"/> Contra Costa Mosquito & Vector Control District
<input type="checkbox"/> US Fish and Wildlife Service	<input type="checkbox"/> Bay Point Municipal Advisory Comm.
<input type="checkbox"/> Dept. of Fish and Game – Region 3	<input type="checkbox"/> City of Antioch Community Development Department
<input type="checkbox"/> State RWQCB	<input type="checkbox"/> City of Concord Planning Division
<input type="checkbox"/> US Postal Service – Pittsburg	<input type="checkbox"/> City of Concord Transportation Department
<input type="checkbox"/> Caltrans - District 4	<input type="checkbox"/> Antioch Unified School District
<input type="checkbox"/> Sonoma State - Historical/Archaeological	<input type="checkbox"/> Mt. Diablo Unified School District
<input type="checkbox"/> Association of Bay Area Governments	<input type="checkbox"/> Pittsburg Unified School District
<input type="checkbox"/> Bay Area Air Quality Management District	City of Pittsburg
<input type="checkbox"/> East Bay Regional Park District	<input checked="" type="checkbox"/> Planning Division
<input type="checkbox"/> Native American Heritage Commission	<input checked="" type="checkbox"/> Building Division
Contra Costa County	<input checked="" type="checkbox"/> Engineering Division
<input checked="" type="checkbox"/> Assessor's Office	<input checked="" type="checkbox"/> Transportation Division
<input type="checkbox"/> Community Development Department	<input checked="" type="checkbox"/> Public Works Division
<input checked="" type="checkbox"/> Environmental Health	<input type="checkbox"/> Waste Reduction Coordinator
<input checked="" type="checkbox"/> Fire Protection District	<input type="checkbox"/> Successor Agency
<input type="checkbox"/> Flood Control District	<input type="checkbox"/> Economic Development
<input type="checkbox"/> Health Services Department	<input type="checkbox"/> City Attorney
<input type="checkbox"/> Hazardous Materials Programs	<input type="checkbox"/> City Manager
<input type="checkbox"/> LAFCO	<input type="checkbox"/> Police Dept.
<input type="checkbox"/> Library (Pittsburg Branch)	<input type="checkbox"/> HCP Coordinator
<input type="checkbox"/> Public Works Dept. (Transportation Eng.)	<input type="checkbox"/> NPDES Coordinator
Transportation	Utilities
<input type="checkbox"/> BART Planning/Environmental Compliance Division	<input checked="" type="checkbox"/> Contra Costa Water District
<input type="checkbox"/> Central Contra Costa Transit Authority	<input checked="" type="checkbox"/> Delta Diablo Sanitation District
<input type="checkbox"/> Metropolitan Transportation Commission	<input checked="" type="checkbox"/> AT&T
<input type="checkbox"/> Tri-Delta Transit	<input checked="" type="checkbox"/> PG&E – 1-877-259-8314 for utility easements
<input type="checkbox"/> TRANSPLAN	<input type="checkbox"/> Pittsburg Disposal Service
<input type="checkbox"/> Contra Costa Transportation Authority	<input type="checkbox"/> Comcast Cable Communications, Inc.
<input type="checkbox"/> TRANSPAC	<input type="checkbox"/> Other:
Local	<input type="checkbox"/> Other:
<input type="checkbox"/> Supervisor Federal Glover	<input type="checkbox"/> Other:

Address: 2114 Chestnut Drive, Pittsburg, CA 94565
Application No. AP-23-0064 (VA)



Proposed Project/Use Description:

(Attach additional sheets if necessary. For sign permits, include length x width x height dimensions, sign copy, colors, and length of building frontage.)

ADU AT SIDE OF PROPERTY LINE
THE FRONT BUILDING 12'-1" WIDE

APPLICANT INFORMATION:

Applicant Name: JAVIER GARCIA Primary Contact: JAVIER GARCIA
E-Mail: javiergarcia-detailing@yahoo.com Phone: (709) 751-2585
Mailing Address: P.O. Box 7024 Manteca, CA 95326

Property Owner(s): LUZ TORRES
E-Mail: TORRESCARLOS1118@gmail.com Phone: 925-899-3280
Mailing Address: 2114 CHESTNUT DR. PITTSBURG, CA 94565

Notarized Signature of Agent and/or Property Owner:

Agent (Attach Notary): _____ Date: _____
Property owner/manager (attach notary): X Luz Torres Date: X 5-4-23

(If not property owner or manager, provide letter from property owner authorizing agent to sign application.)

SUBMITTAL REQUIREMENTS: (to be completed by the applicant)

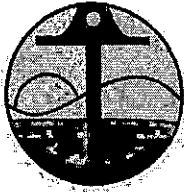
- Consultation with Planning Division
- Completed Planning Application Form
- 2 sets (minimum) of Project Plans* + 1 electronic set on a flash drive or CD
- Correct Filing Fees (if paying by check, make payable to "City of Pittsburg")
- Anticipated Postage Fees for Public Notices (check with Planning Division if applicable)

*One full-sized and one reduced (8.5" x 11" or 11" x 17") required. Please review the Planning Application Submittal Checklist (separate handout) for details about what needs to be included on the project plans.

STAFF USE ONLY

TOTAL FEES PAID*: _____ Date Rec'd: _____ By: _____

*Attach Copy of Completed Planning Receipt Form or Developer Deposit Request



Planning Application

City of Pittsburg, Community Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

TYPE OF APPLICATION REQUESTED:

- | | |
|---|---|
| <input type="checkbox"/> UP Conditional Use Permit | <input type="checkbox"/> ZA Zoning Administrator |
| <input type="checkbox"/> DR Design Review | <input type="checkbox"/> TRP Tree Removal Permit |
| <input type="checkbox"/> ADR Design Review (Admin) | <input type="checkbox"/> TA Temporary Activity |
| <input type="checkbox"/> GP General Plan Amendment | <input type="checkbox"/> PPR Preliminary Plan Review |
| <input type="checkbox"/> RZ Rezoning (Includes PUD) | <input type="checkbox"/> MM Minor Modification (wireless) |
| <input type="checkbox"/> SUB Major Subdivision | <input type="checkbox"/> SR Sign Review (Type: _____) |
| <input type="checkbox"/> MS Minor Subdivision | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> VA Variance | |

STAFF USE ONLY

Application Number: _____ Date Filed: _____

PROJECT INFORMATION:

Project Name (Business/Development): TORRES (ADU)

Address/Location of Project: 2114 CHESTNUT

Assessor's Parcel No(s): 094-140-023

Mapping Address (Latitude/Longitude): _____

Existing General Plan / Zoning Designations: _____

Proposed General Plan / Zoning Designations: _____

Existing Use: RESIDENCE

Proposed Use: ADU

Size of Existing Structure(s): 1,420 SQ. FT.

Size of Proposed Additions / New Structure(s): 338 SQ. FT.

Amount of New Impervious Surfaces (s.f. or acres)¹: _____

Property Size (s.f. or acres): 12,369 No. of Existing Lots: ONE Proposed: N/A

Days/Hours of Operation: N/A

No. of Employees, Existing: N/A Proposed: N/A

No. of On-Site Parking Stalls, Existing: 3 Proposed: N/A

HCP Land Cover Type: N/A Cortese List: Yes No

¹ If over 10,000 square feet, a stormwater control plan and related documents may be required per PMC §15.26.030(A)(2). Please contact Planning staff or refer to the Stormwater C-3 Guidebook available at www.ccleanwater.org/construction/nd.php for further guidance.

BEFORE THE ZONING ADMINISTRATOR OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Approving Variance to Allow a)
Two-Foot-Three-Inch (2'-3") Side-Yard)
Setback, where Four Feet (4'-0") Minimum)
is Required, to Legalize an Existing)
Unpermitted 338 Square-Foot Accessory)
Dwelling Unit (ADU) Attached to an)
Existing Single-Family Dwelling Located at)
2114 Chestnut Drive in the RS-6 (Single-)
Family Residential, 6,000 Square Feet)
Minimum) District. Assessor's Parcel)
Number: 089-360-031)

Resolution No.10233

The Zoning Administrator DOES RESOLVE as follows:

Section 1. Background

- A. On June 4, 2023, Javier Garcia filed Planning Application No. 23-0064, requesting Zoning Administrator approval of a variance to: to allow a two-foot-three-inch (2'-3") side-yard setback, where four feet (4'-0") minimum is required, to legalize an existing unpermitted 338 square-foot Accessory Dwelling Unit (ADU) attached to an existing single-family dwelling located at 2114 Chestnut Drive in the RS-6 (Single-Family Residential, 6,000 Square Feet Minimum) District. Assessor's Parcel Number: 089-360-031
- B. The proposed project is governed by the policies and development standards in the Pittsburgh General Plan and Pittsburgh Municipal Code (PMC) Title 18 (Zoning).
- C. Pursuant to PMC section 18.10.050 and 18.28.020, the Zoning Administrator shall, after notice pursuant to PMC sections 18.14.020(E) and (F) and notice to the Planning Commission, hear and decide each application for a variance, unless the zoning administrator determines that, because of the probable controversial nature of the proposal or because of its significance to the City, the Planning Commission should hear and decide the application.
- D. On July 11, 2023, a Notice of Intent to conduct a Zoning Administrator public hearing pursuant to Pittsburgh Municipal Code (PMC) section 18.10.050 regarding a request for approval of a variance was provided to the Planning Commission
- E. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Minor alterations to existing facilities" of the state CEQA Guidelines, sections 15301.
- F. On or prior to July 21, 2023, notice of the August 3, 2023 public hearing was posted

at City Hall, near the subject site, and on the 'Public Notices' section of the city's website; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the surrounding neighborhoods.

- G. On August 3, 2023, the Zoning Administrator held a public hearing to consider Planning Application No. 23-0064, at which time oral and/or written testimony was considered.

Section 2. Findings

- A. Based on the Zoning Administrator Staff Report entitled, "Consideration of a Variance to reduce the required side-yard setback from 4' feet to 2' feet 3" inches to permit for an Accessory Dwelling Unit at 2114 Chestnut Drive, AP-23-0064 (VA)," dated July 3, 2023, and based on all the information contained in the Planning Division files on the project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburg, and based on all written and oral testimony presented at the meeting, the Zoning Administrator finds that:
1. All recitals above are true and correct and are incorporated herein by reference.
 2. There are unique topographical, size, and shape characteristics of the parcels, which create a special circumstance to support a variance for the encroachment of the single-family dwelling units and accessory dwelling units. This finding can be made because the location of the primary residential structure at the site is close to the side yard property line and the existing layout of the floor plan of the primary residence constrains the siting of an ADU. The existing lot is a trapezoid shape with non-parallel side yard property lines which constrains the development of lot. Compliance with the applicable setback regulation at that particular location would necessitate partial demolition of approximately 60 square feet of the modest 338 square-foot ADU, resulting in only a 278 square-foot ADU.
 3. The variance will not constitute a grant of special privilege which is not generally available to other properties in the vicinity and in the same land use district, because the parcel is a trapezoid lot with extraordinary setback requirements and neighboring parcels within the same zoning district are able to construct ADU's. Granting a variance will not be materially detrimental to other properties or set a significant land use precedent.
 4. The variance substantially complies with the intent and purpose of the land use district to which the property is classified, because ADUs are permitted uses in the RS-6 zone and essential in addressing the ongoing affordable housing crisis in California. In this regard, reducing the side yard setback Variance to allow for the ADU substantially complies with the intent and purpose of the RS-6 land use

district.

Section 3. Decision

Based on the findings set forth above, the Zoning Administrator hereby approves Planning Application No. 23-0064, subject to the following conditions:

1. **Conformity with Project Plans.** The project shall be developed in substantial conformity with the approved plans, date stamped June 4, 2023, and attached to this resolution as Attachment 2, except as hereinafter may be modified. The Zoning Administrator, in their sole discretion, may allow for minor modifications.
2. **Location of Mechanical Equipment.** AC units shall not be placed in any side yard less than 5 feet unless the location is approved by the City Engineer.
3. **Easements.** No trees or structures shall be located above the sewer main, water lines, or any other easements located on the property.
4. **Project Plans.** Engineering and building plans shall be amended to show existing public utility easements, public access easements, and utility connections. Existing connections that are not directly connected to the City service lines shall be identified and permits shall be submitted to the Engineering Division to make those connections directly to City service lines. All utility connections to City service lines shall be completed prior to final inspection of the building/engineering permit to install the parking lot.
5. **Location of Refuse Collection.** Refuse bins for collection shall be placed in a location approved by Mt. Diablo Resource Recovery to ensure the company can access the bins.

Standard Conditions:

6. **Other Agency Requirements.** The applicant shall comply with all requirements of the City Development Services Department, the Contra Costa County Fire Protection District, Delta Diablo Sanitation District and all other applicable local, state and federal agencies. It is the responsibility of the applicant to contact each local, state, or federal agency for requirements that may pertain to this project.
7. **Standard Conditions of Development.** The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 shall apply as conditions of approval for this project, as applicable. Where there is a conflict between Planning Commission Resolution No. 8931 and the conditions identified herein, the specific conditions of this resolution shall apply.
8. **Indemnification.** Applicant agrees to indemnify, defend, and hold harmless the City of Pittsburg, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with,

this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at applicant's sole cost and expense. Applicant may select its own legal counsel to represent applicant's interests at applicant's sole cost and expense. Applicant shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

9. Expiration of Approval. This approval will expire on August 3, 2024, unless a building permit has been issued and the improvements noted herein are diligently pursued to completion, or unless a written request for extension is filed with the Planning Division prior to the expiration date and is subsequently approved by the Zoning Administrator. The approval shall be valid for no more than six months from the date of building or grading permit issuance, unless work is commenced and diligently pursued prior to the expiration of the applicable building permit.

Section 4. Effective Date

This resolution shall take effect immediately upon adoption of this resolution.

The foregoing resolution was passed and adopted the 3rd day of July 2023, by the Zoning Administrator of the City of Pittsburg, California.



JOHN FUNDERBURG
ZONING ADMINSTRATOR

APPLICABLE CONSTRUCTION CODES:

- 2022 CALIF. BUILDING CODE (C.B.C.)
- 2022 CALIF. RESIDENTIAL CODE (C.R.C.)
- 2022 CALIF. PLUMBING CODE (C.P.C.)
- 2022 CALIF. ELECTRICAL CODE (C.E.C.)
- 2022 CALIF. MECHANICAL CODE (C.M.C.)
- 2022 CALIF. GREEN BUILDING STANDARD CODE (C.G.B.S.C.)
- 2022 CALIF. ENERGY EFFICIENCY STANDARDS (C.E.E.S.)
- 2022 CALIF. FIRE CODE (CFC)

SHEET INDEX:

- A.0 NOTES
- A.01 SITE PLAN
- A.1 PROPOSED FLOOR PLAN
- A.1 EXISTING FLOOR PLAN
- A.2 RAISED FOUNDATION
- A.2 ROOF FRAMING PLAN
- A.3 FLOOR PLAN
- A.4 ELEVATIONS
- A.4 SECTIONS
- A.5 PLUMBING PLAN
- A.6 NAILING SCHEDULE

SCOPE OF WORK:

- 1. ATTACHED ADU
- 2. PLUMBING
- 3. ELECTRICAL
- 4. MECHANICAL

OCCUPANCY GROUP: R-3

TYPE OF CONSTRUCTION: V-B

SPRINKLERS: NO

STORIES: SINGLE STORY

LOT SIZE= 12,369 SQ.FT. (E) RESIDENCE = 1,420 SQ. FT.

(E) TWO CAR GARAGE= 420 SQ. FT.

(E) COVERED FRONT PATIO= 25 SQ. FT.

(E) SHED= 120 SQ. FT.

(E) DETACHED COVERED PATIO= 240 SQ.FT.

ATTACHED ADU= 338 SQ. FT.

ELECTRICAL:

- 1. A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET C.E.C. ART.210.11 (C) (2) & 210.52 (F).
- 2. DELETE

- 3. ELECTRICAL PLANS TO BE IN COMPLIANCE WITH CALIF. ENERGY CODE SECTION 150 (K) FOR NEW LIGHTING, WHICH INCLUDES THE FOLLOWING:

- A. AT BATHROOMS, LIGHTING IN THESE ROOMS ARE HIGH EFFICACY LUMINARIES OR TO COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. PROVIDE A MANUAL ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH C.E.C. SECTION 119 (D) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON.
- B. AT OTHER ROOMS (BEDROOMS, HALLWAYS, STAIRS, ATTICS, LIGHTS IN THESE ROOMS ARE ARE EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. PROVIDE DIMMER SWITCH
 - b. CLOSETS LESS THAN 70 SQ. FT. ARE EXEMPT FROM THE LIGHTING REQUIREMENTS.
- C. OUTDOOR LIGHTING, THAT ALL LIGHTS PERMANENTLY MOUNTED TO THE RESIDENTIAL BUILDING OR TO OTHER BUILDING ON SAME LOT ARE HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
 - a. LIGHTS ARE TO BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY AN INTEGRAL PHOTO-CONTROL NOT HAVING AN OVERRIDE OR BYPASS
- 4. ALL RECEPTACLE OUTLETS TO BE TAMPER RESISTANT PER CEC 406.12
- 5. ALL EXTERIOR RECEPTACLES OUTLETS TO BE BOTH WP AND GFCI.

GENERAL NOTES:

- 1. DETAILS AND NOTES INDICATED ON THIS SHEET ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE DRAWN OR NOTED. DETAILS OF CONSTRUCTION NOT FULLY SHOWN, SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.
- 2. COMPARISON OF STRUCTURAL DRAWINGS WITH REFERENCE TO MATERIALS, LAYOUT DIMENSIONS AND ELEVATIONS SHALL BE MADE BY THE GENERAL CONTRACTOR BEFORE STARTING WORK ANY DISCREPANCIES SHALL BE REFERRED TO THE DESIGNER OR ENGINEER FOR REVISED DIRECTION.
- 3. CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF ALL ELEMENTS BEFORE REMOVING ANY EXISTING CONSTRUCTION AND PROVIDE SHORING, BRACING, AND OR SUPPORT AS REQUIRED TO MAINTAIN SAFE CONDITIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION.
- 4. CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE DURING THE CONSTRUCTION PERIOD FOR ALL CONDITIONS AT THE CONSTRUCTION SITE INCLUDING SAFETY OF PROPERTY AND PERSONS. THE DESIGNER OR ENGINEER VISITS TO THE CONSTRUCTION SITE ARE NOT INTENDED, NOR THEY BE CONSTRUED TO INCLUDE A REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES.
- 5. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODES LATEST EDITION AS ADOPTED BY THE CONTROLLING JURISDICTION.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL AND OR CITY BUILDING CODES AND REQUIREMENTS.
- 7. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT DISCREPANCIES TO THE DESIGNER OR ENGINEER.

CONCRETE:

- 1. CONCRETE SHALL DEVELOP FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS : PIERS, GRADE BEAMS, INTERIOR SLABS ON GRADE AND FOOTINGS FC= 2500 PSI.
- 2. CONCRETE SHALL BE PLACED IN CONTINUOUS OPERATION UNTIL THE SECTION IS COMPLETED BETWEEN PREDETERMINED CONSTRUCTION JOINTS.
- 3. CONCRETE SHALL BE A CONSISTENCY TO PERMIT PLACING INTIMATELY AROUND REINFORCING BARS AND AGAINST FORMS.
- 4. EXPOSED SURFACES OF CONCRETE SHALL BE KEPT MOIST OR CURED BY PROTECTIVE COVERINGS AS NOTED IN SPECIFICATIONS.
- 5. FORMS SHALL BE TIGHT AND CLEAN BEFORE PLACING CONCRETE.
- 6. CHAMFER EDGES OF CONCRETE EXPOSED $\frac{3}{4}$ ", UNLESS OTHERWISE NOTED.

REINFORCEMENT:

- 1. REINFORCEMENTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ASTM A615 GRADE 60 FOR #5 BARS AND LARGER, GRADE 40 FOR #4 BARS AND SMALLER.
- 2. REINFORCING BARS SHALL BE FREE FROM LOOSE RUST AND OF ANY OTHER COATING WHICH WILL DESTROY OR REDUCE BOND.
- 3. REINFORCING BARS SHALL NOT BE BENT OR STRAIGHTEN IN A MANNER WHICH WILL INJURE THE MATERIAL AND SHALL BE ACCURATELY PLACED AND POSITIVELY SECURED.
- 4. THE CLEAR DISTANCE BETWEEN PARALLEL BARS IN A LAYER SHALL NOT BE LESS THAN 1 TIMES THE NOMINAL DIAMETER OF THE BARS, OR $1\frac{1}{2}$ TIMES THE MAXIMUM SIZE AGGREGATE NOR LESS THAN "1".

SPECIAL INSPECTION:

- 1. THE SPECIAL INSPECTION FOR STEEL ELEMENTS OF BUILDING AND STRUCTURES PER PER CBC SECTION 1704.3 AND TABLE 1704.3 IS NOT REQUIRED.
- 2. THE SPECIAL INSPECTIONS AND VERIFICATIONS FOR CONCRETE CONSTRUCTION PER CBC SECTION 1704.4 AND TABLE 1704.4 IS NOT X REQUIRED.
- 3. THE SPECIAL INSPECTION FOR MASONRY CONSTRUCTION PER CBC SECTION 1704.5.1 AND 1704.5.3 IS NOT X REQUIRED.
- 4. SPECIAL INSPECTIONS SHALL BE PERFORMED DURING INSTALLATION AND TESTING OF PILE FOUNDATION AS REQUIRED BY TABLE 1704.8 AND 1704.9
- 5. PERIODIC SPECIAL INSPECTION IS REQUIRED DURING PLACEMENT OF REINFORCEMENT AND CONTINUOUS SPECIAL INSPECTION IS REQUIRED DURING PLACEMENT OF CONCRETE IN PIER FOUNDATION.
- 6. PERIODIC SPECIAL INSPECTIONS IS NOT X REQUIRED FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC-FORCE-RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAFRAM, DRAG STRUTS, BRACES, SHEAR PANELS, AND HOLDOWNS AS REQUIRED.
- 7. SPECIAL INSPECTION IS REQUIRED FOR THE EPOXY OF BOLTS AND REBAR INTO EXISTING CONCRETE.

WOOD:

- 1. LUMBER USED FOR STRUCTURAL PURPOSES SHALL BE DOUGLAS FIR CONFORMING TO THE FOLLOWING MINIMUM GRADES, SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION, AND BE FREE OF HEART CENTER.
 - A. STUDS, PLATES, BLOCKING, D.F. NO. 2
 - B. CONCEALED POST, HEADER (U.N.O.) D. F. NO. 2
 - C. JOISTS AND BEAMS, D.F. NO 1
 - D. SILL PLATES, DECK BEAMS, DECK JOISTS, DECK POSTS, AND DECK LEDGERS P.T.D.F. NO 2 OR BETTER.
 - E. PARALLAM SHALL BE 2.OE WS PARALLAM PSL
 - F. MICROLAM SHALL BE 1 $\frac{3}{4}$ " 1.8E WS MICRO-LAM LVL
 - G. ROOF SHEATHING SHALL BE $\frac{1}{2}$ " CDX APA 24/0 PLYWOOD INSTALLED WITH FACE GRAIN PERPENDICULAR TO FRAMING AND WITH END JOINTS STAGGERED. NAILING SHALL BE 8D NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. IN FIELD. THE ROOF SHEATHING SHALL BE BLOCKED AT PANEL EDGES WITH 2X4'S INSTALLED FLATWISE.
 - H. GLU-LAM SHALL BE 24F-3V DF/DF (A.A.G.) ARCHITECTURAL APPEARANCE GRADE.
 - I. SUBFLOORING SHALL BE $\frac{3}{4}$ " CDX APA 24/0 PLYWOOD INSTALLED WITH FACE GRAIN PERPENDICULAR TO FRAMING AND WITH END JOINTS STAGGERED. NAILING SHALL BE 10D NAILS @ 6" O.C. AT PANEL EDGES AND @ 10" O.C. IN THE FIELD.
- 2. PLYWOOD SHALL BE DOUGLAS FIR STRUCTURAL II CDX OR BETTER.
- 3. TIMBER FASTENERS INDICATED ON DRAWINGS SHALL BE IDENTIFIED BY PROPRIETARY NAMES, OR EQUAL, AND SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS. FASTENERS ARE REFERRED TO BY SIMPSON STRONG-TIE COMPANY DESIGNATION. FOR GENERAL CHARACTERISTICS. SUBSTITUTE FASTENERS MUST HAVE EQUAL OR BETTER STRUCTURAL PROPERTIES.
- 4. NATURALLY DURABLE OR PERSERVATIVE-TREATED WOOD SHALL BE UTILIZED FOR THOSE PORTIONS OF WOOD MEMBERS THAT ARE EXPOSED TO THE WEATHER.

BATHROOMS:

- 1. WATER CLOSET SHALL HAVE A MAX. FLUSHING CAPACITY OF 1.28 GALLONS PER C.P.C. 402.2
- 2. SHOWERS SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET WITH MATERIAL NOT ADVERSELY AFFECTED BY MOISTURE
- 3. SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIX TYPE (ANTI-SCALD) C.P.C. SECTION 410.7
- 4. WINDOWS IN BATHROOMS TO HAVE A MINIMUM NET OPENABLE AREA OF 1.5 SQ. FT.
- 5. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A 20 AMPERE BRANCH CIRCUIT EXCLUSIVE TO THE BATHROOM
- 6. INSTALL PRESSURE RELIEF VALVE PER C.P.C. SECTION 608.3
- 7. GLAZING IN THE WALL ENCLOSING TUB AND SHOWER LESS THAN 60" ABOVE STANDING SURFACE AND DRAIN INLET.
- 8. SHOWER VALVES SHALL BE AN INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES TO LIMIT THE MIXED WATER TO A MAX. TEMPERTURE OF 120 DEG. FAHRENHEIT C.P.C.
- 9. THE MAIN AREA OF LIGHT FIXTURES IN THE KITCHEN AND IN ROOMS AND SPACES WITH A SHOWER OR BATHTUBS SHALL BE FLOURESCENT OR OTHER APPROVED TYPE PROVIDING AT LEAST 40 LUMENS PER WATT, ALSO THAT SUCH FIXTURES ARE OPERATED BY THE FIRST SWITCH AT THE ENTRY TO THE SPACE.
- 10. PROVIDE G.F.C.I. PROTECTED RECEPTACLE IN BATHROOMS PER C.E.C. ART. 210.8.
- 11. PROVIDE REQUIRED FLOURESCENT FIXTURES IN BATHROOMS PER CALIF. ENERGY STANDARDS SECTION 150 (k) 2.3.
- 12. SHOWER DOORS MUST BE 22" CLEAR OPENING.
- 13. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOM, IF OPENABLE WINDOW IS NOT PROVIDED. DUCTLESS FANS ARE NOT ACCEPTABLE IN ROOMS CONTAINING TUBS OR SHOWERS, SECTION 1203.3.
- 14. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - a. EXHAUST FAN ENERGY STAR CERTIFIED AND HAS HUMIDISTAT CONTROL AND BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING.
- 15. SHOWER HEADS = 1.8 GPM @ 80 PSI
- 16. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIF. PLUMBING CODE, AND SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIF. PLUMBING CODE.
- 17. EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR COMBINATION TUB/SHOWER SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL PER CRC R303.3.1.
- 18. IN BATHROOMS, GARAGES, LAUNDRY ROOM, AND UTILITY ROOMS, AT LEAST ON LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR (C.E.C.150.0)
- 19. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL BE CONTROLLED BY A HUMIDITY SENSOR, UNLESS FUNCTIONING AS INDOOR AIR QUALITY VENTILATION (CGBSC 4.506.1)
- 20. SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (CRC R308.4.1. AND R308.3)
 - A. GLAZING IN ALL FIXED AND OPENABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
 - B. GLAZING IN AN INDIVIDUAL FIXED OR OPENABLE ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED THAN 60" ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS.
 - C. WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
 - D. WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF DOOR IN A CLOSED AND WITHIN 24" OF THE HINGE SIDE OF AN IN SWINGING DOORS.
 - E. GLAZING IN WALLS ENCLOSURES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
- 21. AT LEAST ONE LUMINAIRE IN THE BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM, MUST BE CONTROLLED BY A VACANCY SENSOR. PRESET SCENE CONTROLLED AND EMCS CAN TAKE THE PLACE OF DIMMERS AS LONG AS THE FUNCTIONALITY MEETS CODE REQUIREMENTS.

General Notes

NOTES

No.	Revision/Issue	Date

Firm Name and Address

JAVIER GARCIA
P. O. BOX 2024
MANTECA, CA. 95336
(209)351-2595

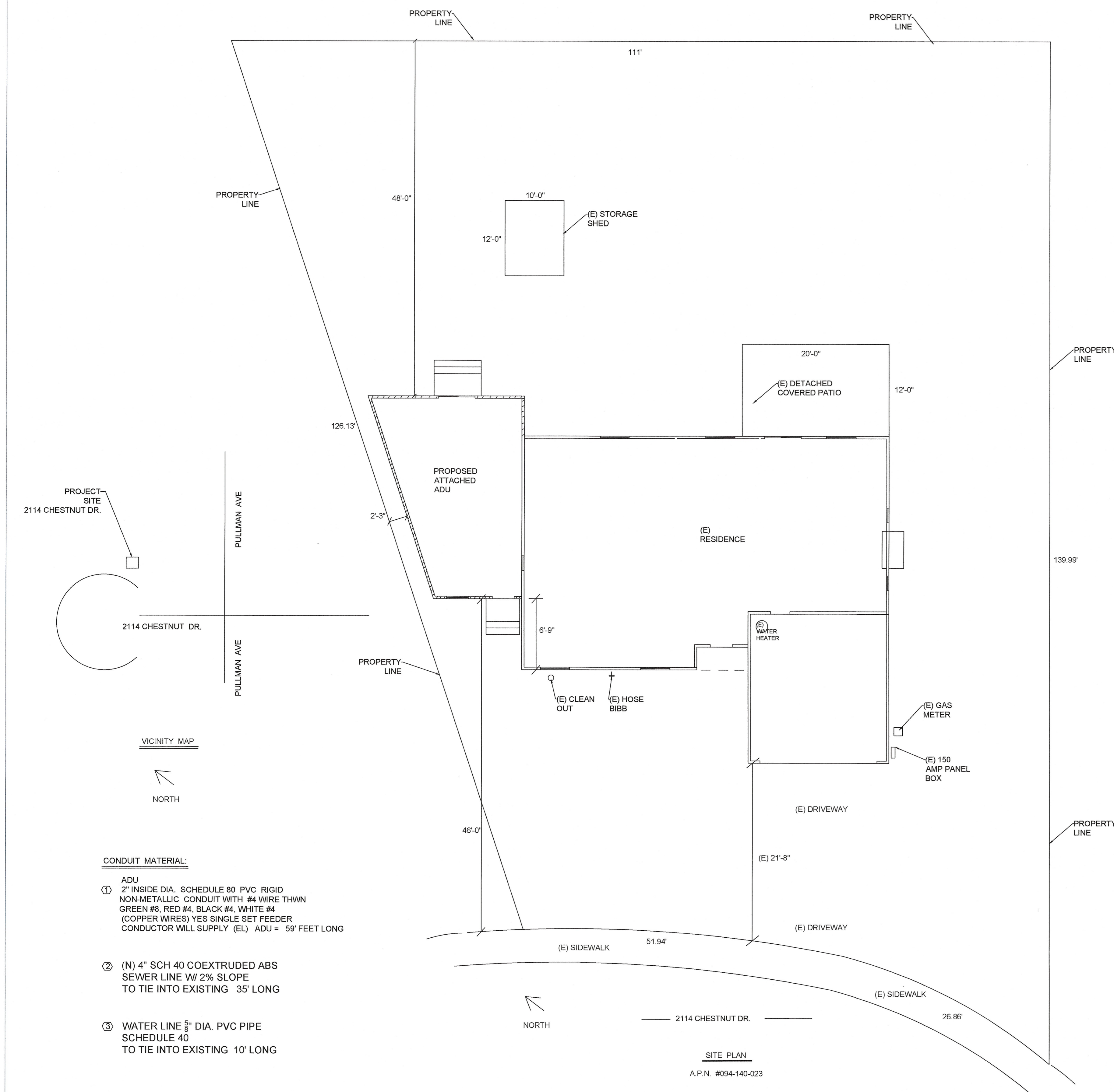
Project Name and Address

TORRES RES.
2114 CHESTNUT DR.
PITTSBURG, CA. 94565

Project	Sheet
Date	A.0
Scale	

EMAIL: javiergarciaetailing@yahoo.com

5-9-2023



- CONDUIT MATERIAL:**
- ADU
 - ① 2" INSIDE DIA. SCHEDULE 80 PVC RIGID NON-METALLIC CONDUIT WITH #4 WIRE THWN GREEN #8, RED #4, BLACK #4, WHITE #4 (COPPER WIRES) YES SINGLE SET FEEDER CONDUCTOR WILL SUPPLY (EL) ADU = 59' FEET LONG
 - ② (N) 4" SCH 40 COEXTRUDED ABS SEWER LINE W/ 2% SLOPE TO TIE INTO EXISTING 35' LONG
 - ③ WATER LINE 3/8" DIA. PVC PIPE SCHEDULE 40 TO TIE INTO EXISTING 10' LONG

ELECTRICAL LOAD CALCULATION

JOB ADDRESS: 2114 CHESTNUT DR.

GENERAL LIGHTING
SQ. FT. OF THE EXISTING HOUSE 1,420 SQ. FT. X 3 VOLTS AMPS= 4,260 VA

THE NUMBER OF THE SMALL APPLIANCE CIRCUIT X 1,500 VA
(A MINIMUM OF TWO REQUIRED) = 3,000 VA

LAUNDRY CIRCUIT = 1,500 VA
WATER HEATER = 5,500 VA
COOK TOP = 15,000 VA
AIR CONDITION OR HEATER (WHICH EVER IS LARGER) = 5,000 VA
DRYER = 5,000 VA
ANY MISC. LOADS= = 0 VA

SUB TOTALS = 39,860 VA

FIRST 8,000 AT 100% = 8,000 VA

SUB TOTALS = 47,860 VA

BALANCE OF REST AT 40% = 19,144 VA

ADD THE 8,000 + 8,000 VA

TOTAL= 27,144 VA

DIVIDE THE TOTAL BY 240 = 113 + 6.86 = 120 AMPS NEEDED

ELECTRICAL LOAD CALCULATION

JOB ADDRESS: ADU

SQ. FT. OF THE ATTACHED ADU 338 SQ. FT. X 3 VOLTS AMPS= 1,014 VA

THE NUMBER OF THE SMALL APPLIANCE CIRCUIT X 1,500 VA
(A MINIMUM OF TWO REQUIRED) = 3,000 VA

COOK TOP = 15,000 VA
MINI-SPLIT = 18,000 VA
ANY MISC. LOADS= = 0 VA

SUB TOTALS = 37,014 VA

FIRST 8,000 AT 100% = 8,000 VA

SUB TOTALS = 45,014 VA

BALANCE OF REST AT 40% = 1800 VA

ADD THE 8,000 + 8,000 VA

TOTAL= 26,005 VA

DIVIDE THE TOTAL BY 240 = 108 + 6.86 = 114 AMPS NEEDED

General Notes

SITE PLAN

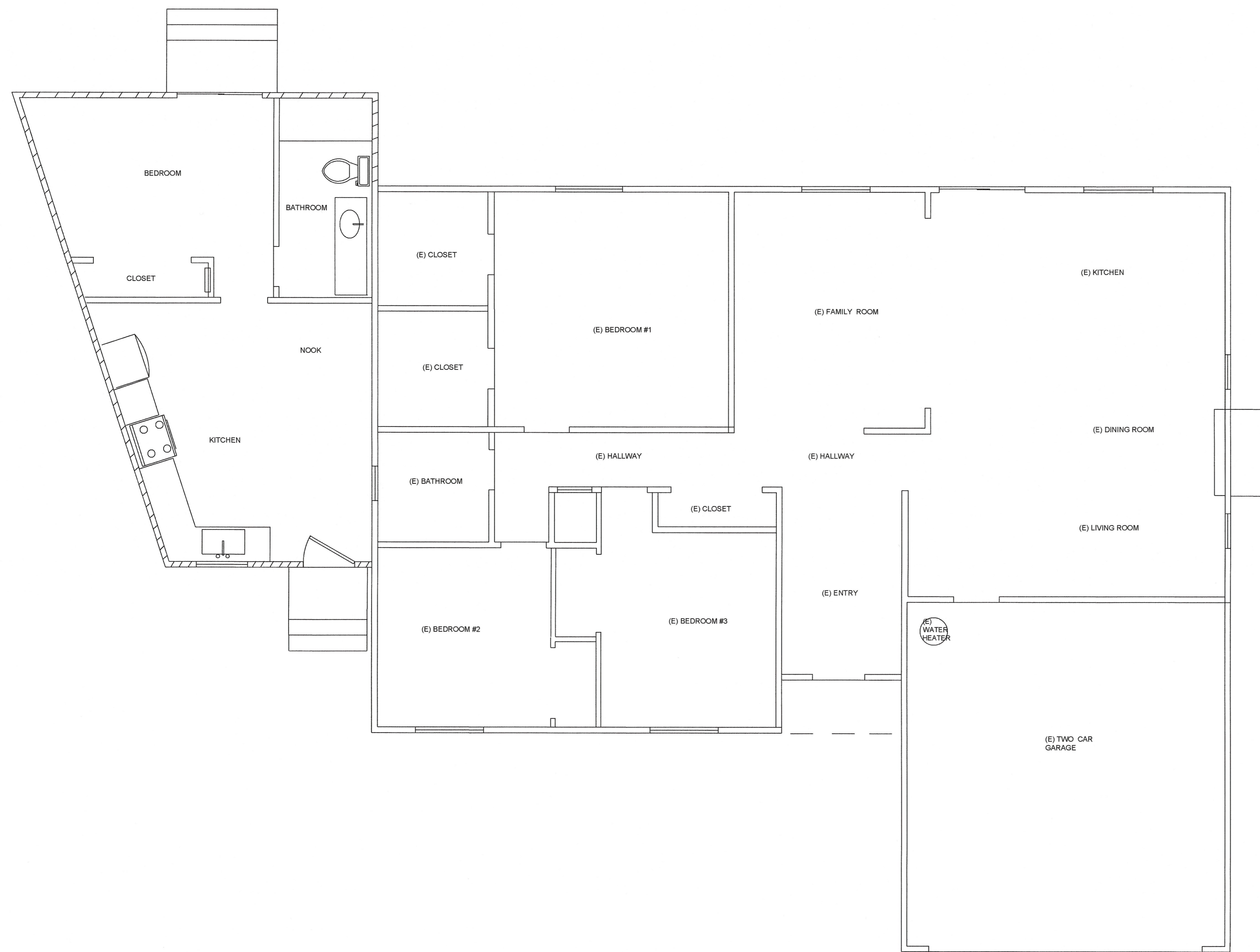
No.	Revision/Issue	Date

Firm Name and Address
JAVIER GARCIA
 P.O. BOX 2024
 MANTECA, CA. 95336
 (209) 351-2595

Project Name and Address
TORRES RES.
 2114 CHESTNUT DR.
 PITTSBURG, CA.

Project	Sheet
Date 3-25-2023	A.01
Scale 1/8" = 1'-0"	

5-9-2023



PROPOSED AND EXISTING
FLOOR PLAN

General Notes

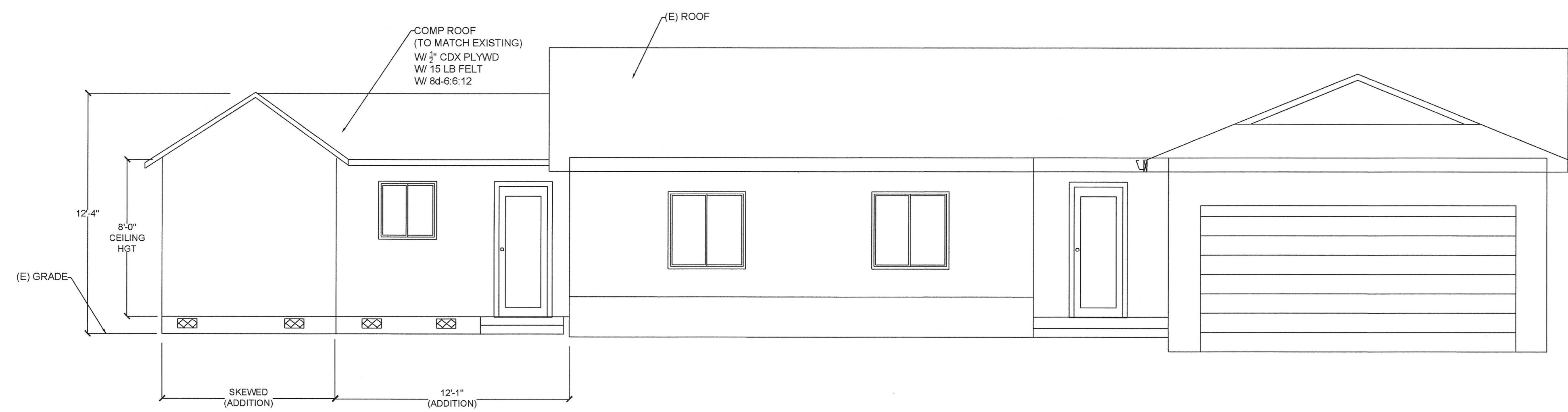
PROPOSED AND EXISTING
FLOOR PLAN

No.	Revision/Issue	Date

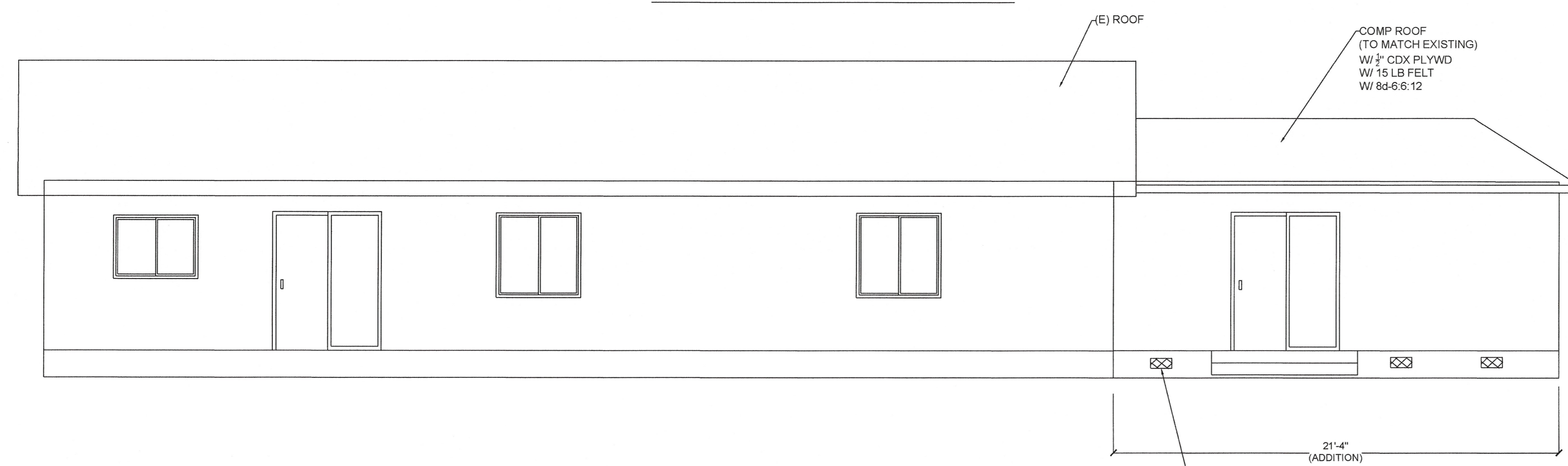
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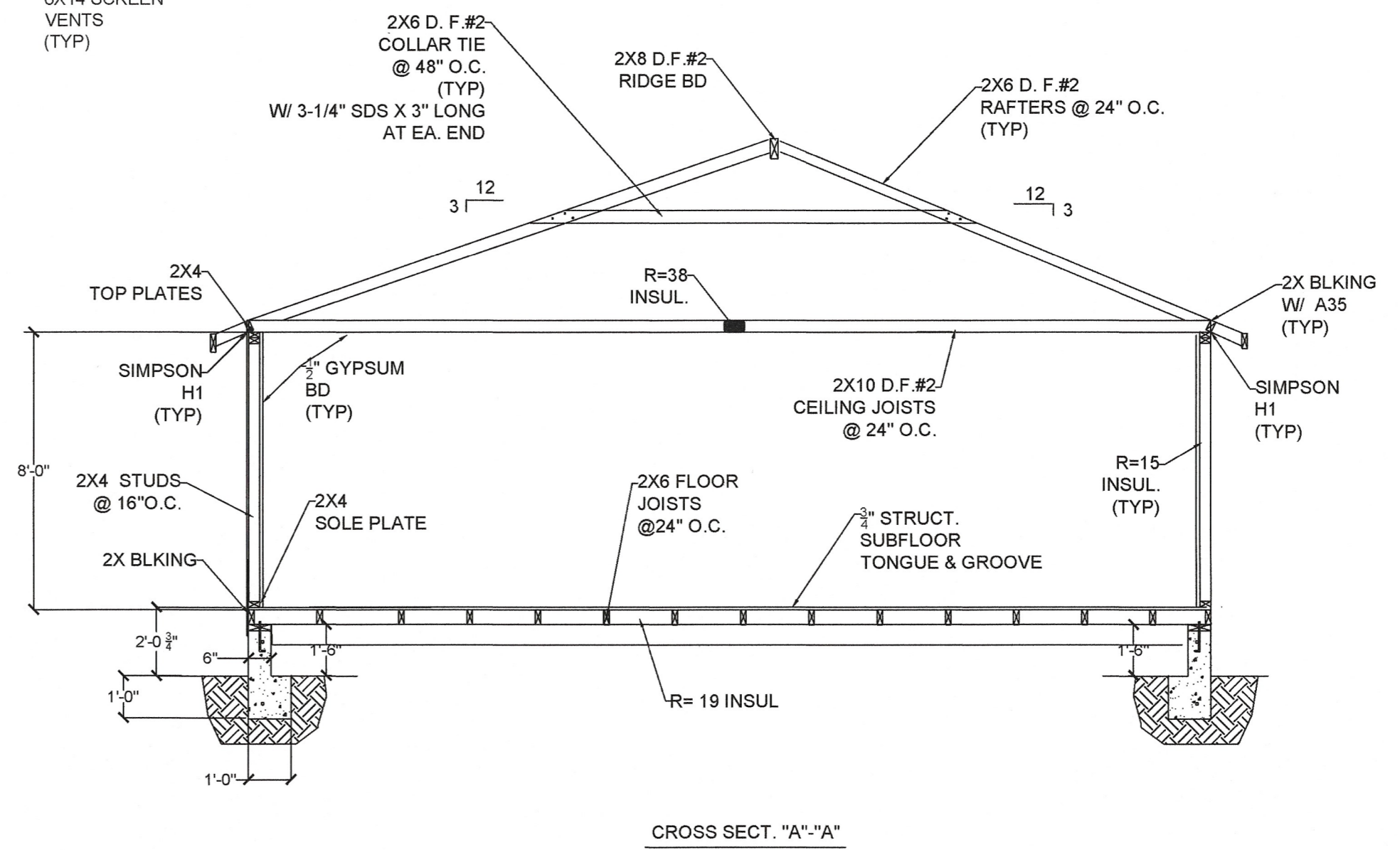
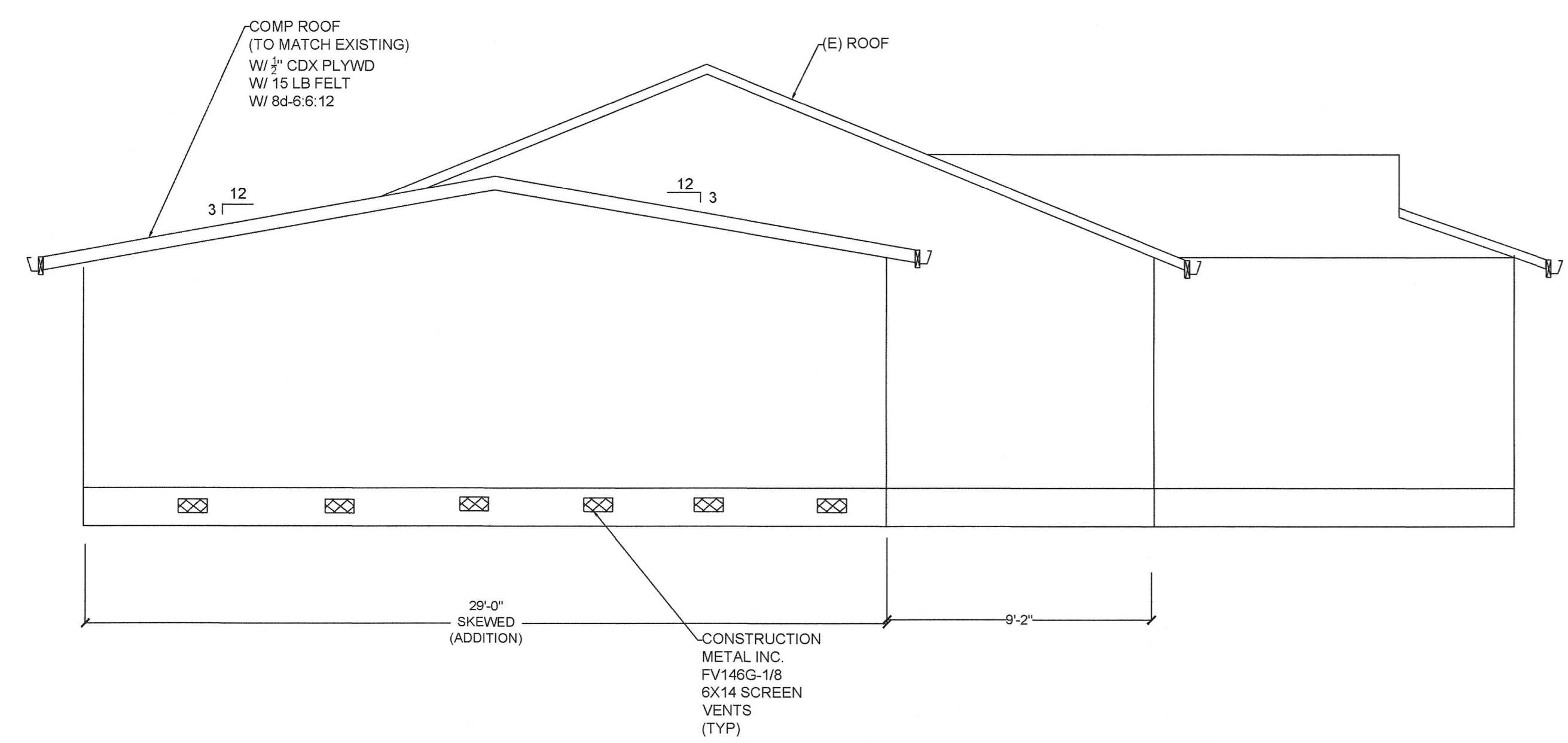
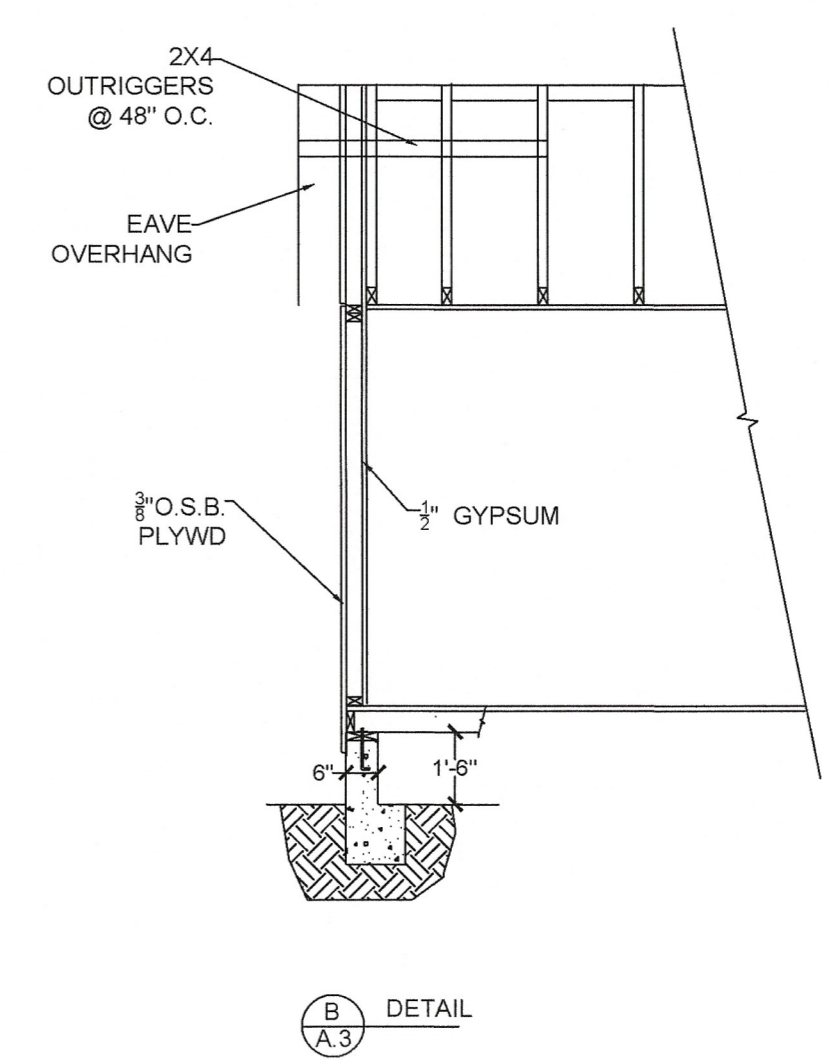
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Date 3-25-2023	A.1
Scale 1/4"=1'-0"	



EXISTING SOUTH ELEVATIONS



EXISTING SOUTH ELEVATIONS



CROSS SECT. "A"-"A"

General Notes

ELEVATIONS
SECTIONS

No.	Revision/Issue	Date

Firm Name and Address
JAVIER GARCIA
 P.O. BOX 2024
 MANTECA, CA. 95336
 (209)351-2595

Project Name and Address
TORRES RES.
 2114 CHESTNUT DR.
 PITTSBURG, CA.

Project	Sheet
Date 3-25-2023	A.3
Scale 1/4"=1'-0"	

5-9-2023

Attachment 3 – Site Photos



Subject Site – 2114 Chestnut Drive



Site and adjacent neighbors

Attachment 4
Property Development Regulations Table
2114 Chestnut Drive, AP-23-0064 (VA)

Development Regulations: <i>RS – 6 Zone</i>	Required:	Proposed:
Minimum lot area	6,000 SF	Approximately 12,369 SF (existing)
Minimum lot width (ft)	50 ft	80 ft (Average)
Minimum Yards:		
Front:	20 ft	Approximately 20/10 ft.
Side:	5 feet Main House 4 feet ADU	Approximately 2'-3" (ADU) 5/18 ft. Main House
Rear:	10 Main House 4 feet ADU	Approximately 50 ft.
Maximum height of structures (ft):	28 ft	16 ft
Maximum Lot Coverage	40%	15%
Parking	2 spaces	2



City of Pittsburg

Community Development Department – Planning Division

65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **PLANNING COMMISSION** of the City of Pittsburg will conduct a public hearing on:

DATE: August 3, 2023
TIME: 2:00 p.m.
PLACE: First Floor Conference Room 4B at City Hall
65 Civic Avenue, Pittsburg, California

Concerning the following matter:

2114 Chestnut Drive Setback Variance, AP-23-0064 (VA)

Zoning Administrator's consideration of a Variance Application to allow a two-foot-three-inch (2'-3") side-yard setback, where four feet (4'-0") minimum is required for Accessory Dwelling Units (ADUs), to legalize an existing unpermitted 338 square-foot Accessory Dwelling Unit (ADU) attached to an existing single-family dwelling located at 2114 Chestnut Drive in the RS-6 (Single-Family Residential, 6,000 Square Feet Minimum) District. Assessor's Parcel Number: 089-360-031.

Environmental Determination

The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Existing Facilities," of the CEQA Guidelines, section 15301.

PROJECT PLANNER: Maurice Brenyah-Addow, (925) 252-4261 or mbrenyah-addow@pittsburgca.gov

Why am I receiving this notice?

You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?

The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

What can I do if I have comments on the project?

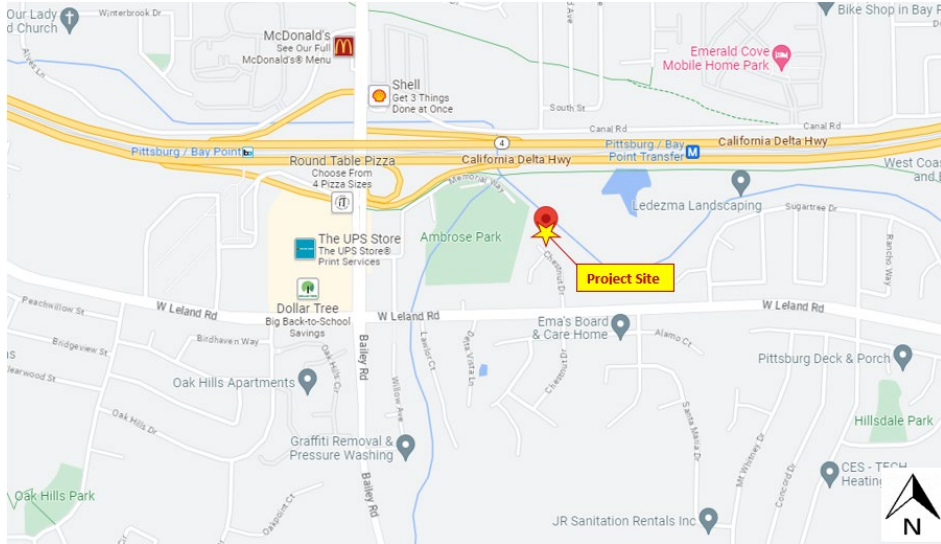
Comments or objections to the project can be made by writing or through e-mailed testimony prior to the meeting or provided orally during the meeting. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

*Para información en
español:
(925) 252-4920*

JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION

Project Title: 2114 Chestnut Drive Setback Variance, AP-23-0064 (VA)
Location: 2114 Chestnut Drive, Pittsburg, CA 94565, 089-360-031



City of Pittsburg

Community Development Department - Planning Division
65 Civic Avenue
Pittsburg, CA 94565

NOTICE OF PUBLIC HEARING

