City of Pittsburg
Community and Economic Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

AGENDA

CITY OF PITTSBURG
ZONING ADMINISTRATOR

3:00 p.m.
January 14, 2021

This Meeting to be held virtually. Please see Public Advisory on final page of agenda for participation instructions

To join meeting:
Please visit www.zoom.us/join
Enter Meeting ID: 878 7883 0406
Password: 744045

To join by phone:
Dial: 1-669-900-9128
Enter Meeting ID: 878 7883 0406
Password: 744045

I. CALL TO ORDER

II. DELETIONS, WITHDRAWALS OR CONTINUANCES

III. PUBLIC COMMENT – The public is welcome to address the Zoning Administrator on items/issues of interest to the public that are NOT listed on the AGENDA. Comments are limited to a maximum of 3 minutes.

IV. EXPLANATION OF HEARING PROCEDURES

V. PUBLIC HEARING

ITEM 1: Yellow Roof Foundation E 14th Street Variance, AP-21-1609 (VA)

This is an application filed by Michael Evans of DeNova Homes, requesting Zoning Administrator approval of a variance to:

1) Reduce the side yard setback from 5 feet to 3.7 feet and the front yard setback from 20 feet to 19.4 feet at 130 E. 14th Lane;

This agenda was posted at City Hall on January 11, 2022

2) Reduce the side yard setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and
3) Reduce the front yard setback from 20 feet to 17.5 feet at 521 E. 14th Street

In the RS-5 (Single-Family Residential, 5,000 Square Foot Minimum) District.

Assessor's Parcel Numbers: 073-111-036, 073-111-035, and 073-111-034.

ITEM 2: 120 Yellowood Place Setback Variance, AP-21-1608 (VA)

This is an application filed by Lloyd Lawson requesting Zoning Administrator approval of a variance to:

1) Reduce the side yard setback from five-feet to zero-feet to legalize two existing unpermitted structures. The existing structures are an attached carport and detached shed of 100 square-feet, which currently encroach into the required five-foot side yard setback at 120 Yellowood Place in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum) District.

Assessor's Parcel Number: 089-360-031.

VI. OTHER BUSINESS

VII. ADJOURNMENT

NOTICE TO PUBLIC

GENERAL INFORMATION

A decision by the Zoning Administrator is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal either the denial, approval, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for Planning Commission consideration and public notice given. The Zoning Administrator requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the meeting. Please turn off or set to vibrate all cellular phones and pagers, and refrain from making personal, impertinent, or slanderous remarks. Boisterous or disruptive behavior during the meeting, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the meeting is a violation of Municipal Code, and the Zoning Administrator can direct any person who engages in such conduct to leave the meeting.

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for the meeting will be made available in appropriate alternative formats. If you need special assistance to participate in this meeting, or wish to request a specially formatted agenda, please contact the City Planner at 925-252-4920. Notification at least 24 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

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Memorandum

MEMO: January 14, 2022
TO: Zoning Administrator
FROM: Celina Palmer, AICP, Associate Planner

RE: **Consideration of a Variance from the Required Yard Setbacks for Yellow Roof Foundation E. 14th Street Variance, AP-21-1609 (VA)**

ORIGINATED BY: Michael Evans of DeNova Homes, 1500 Willow Pass Court, Concord, CA 94520

SUBJECT: This is a public hearing on a request for Zoning Administrator approval of a variance to: 1) reduce the side yard setback from 5 feet to 3.7 feet and the front yard setback from 20 feet to 19.4 feet at 130 E. 14th Lane; 2) reduce the side yard setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and 3) reduce the front yard setback from 20 feet to 17.5 feet at 521 E. 14th Street in the RS-5 (Single-Family Residential, 5,000 Square Foot Minimum) District. Assessor's Parcel Numbers: 073-111-036, 073-111-035, and 073-111-034 respectively.

RECOMMENDATION: Staff recommends the Zoning Administrator adopt Resolution No. 372 approving Planning Application No. 21-1609.

BACKGROUND:

In 2020, Yellowroof Inc., a non-profit affordable housing development company acquired the three subject parcels from the City of Pittsburg for the development of deed-restricted affordable housing units, in an effort to help the City meet its affordable housing requirements.

On June 25, 2021, the applicant obtained a building permit to place one prefabricated single-family residence, one detached accessory dwelling unit, and one carport on each parcel. The applicant stated that the premanufactured structures delivered to the site were larger than what had been ordered, and on November 19, 2021 the applicant submitted plot plan revisions to accurately reflect the updated dimensions for the structures delivered to the site. Upon review of the plans by the Planning Division, it was discovered that a variance was needed as some of the structures are proposed within the required front and side yards for the site.

This planning application was filed on November 29, 2021. The Notice of Intent to

Conduct a Zoning Administrator Public Hearing for this item was provided to the Planning Commission on December 14, 2021.

PROJECT DESCRIPTION:

Existing Conditions: The subject site contains three parcels of varying size: Parcel B is a 4,528 Square Foot parcel, Parcel C is a 4,272 Square Foot parcel, and Parcel D is a 4,816 Square Foot parcel. The subject sites are located north of East 14th Street and east of Harbor Street. Parcel B is located on the southwest corner of East 14th Street and Harbor Street, with Parcel C to the north of Parcel B, and Parcel D to the north of Parcel C. These parcels are accessed via a driveway that connects East 14th Street and Harbor Street. The area was acquired by the former Redevelopment Agency in the early 2000s, and the parcels were created in 2005, with the lots vacant since that time.

Proposed Project: The applicant is requesting Zoning Administrator approval of a variance to: 1) reduce the side yard setback from 5 feet to 3.7 feet and the front yard setback from 20 feet to 19.4 feet at 130 E. 14th Lane; 2) reduce the side yard setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and 3) reduce the front yard setback from 20 feet to 17.5 feet at 521 E. 14th Street, in order to place one premanufactured home, one accessory dwelling unit, and one carport, along with landscaping and fencing, on each parcel.

CODE COMPLIANCE:

The subject site is located in the RS-5 (Single-Family Residential, 5,000 Square Foot Minimum) District. Single-family dwellings and accessory dwelling units are allowed in residentially zoned districts, subject to Pittsburg Municipal Code (PMC) section 18.50.105, which provides property development regulation limitations on location, required yard placement, height, and size.

The proposed structures on Parcel B meet the height and size requirements, and the rear and side setbacks, but fail to meet the front yard setback requirement. The proposed single-family residence would encroach two feet and six inches into the required 20-foot front yard setback. Therefore, the applicant is requesting a variance from the required setback.

The proposed structures on Parcel C meet the height and size requirements, and the front and rear setbacks, but fail to meet the side yard setback and lot coverage requirements. The proposed single-family residence would encroach approximately one foot and four inches into the required five-foot side yard setback. Therefore, the applicant is requesting a variance from the required setback.

The proposed structures on Parcel D meet the height and size requirements and the rear setback, but fail to meet the front and side yard setback requirements. The proposed single-family residence would encroach approximately seven inches into the

required 20-foot front yard setback and approximately one foot and four inches into the required five-foot side yard setback. Therefore, the applicant is requesting a variance from the required setbacks.

Required Findings: Pursuant to PMC section 18.16.050, the Zoning Administrator may grant a variance from the required side yard setback if they can make findings that:

a. because of special circumstances concerning the subject property including size, shape, topography, location of surroundings, the strict application of zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;

b. the variance will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district; and,

c. the variance substantially complies with the intent and purpose of the land use district to which the property is classified.

Environmental: This item is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, "New Construction or Conversion of Small Structures" of the State CEQA Guidelines, section 15303.

Public Noticing: On or prior to January 4, 2022, notice of the January 14, 2022 public hearing was posted at City Hall, near the subject site, and on the 'Public Notices' section of the city's website; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the "Harbor and School St", "Downtown Pittsburg" and "El Pueblo" neighborhoods.

STAFF ANALYSIS:

Staff believes that the Zoning Administrator can make all the required findings to approve the variance request for the single family and accessory dwelling units on each of the subject parcels. The parcels are located in an RS-5 District, where the minimum lot size is 5,000 square feet. Each of the subject parcels are undersized, and Parcels C and D are only 45 feet wide, less than the 50-foot minimum lot width. Additionally, Parcels C and D are a unique shape due to the head of the cul-de-sac from which the parcels have access to East 14th Street. These special circumstances deprive the property of privileges enjoyed by other properties in the RS-5 district which could fit the proposed manufactured housing without the need for a variance from the setbacks. The variance substantially complies with the intent and purpose of the land use district to which the property is classified, in that approval of the variance would allow the

applicant to place a single-family dwelling unit and accessory dwelling unit which are permitted in residential zone districts.

REQUIRED ACTION:

Move to adopt Resolution No. 372, approving Variance Application No. 21-1609.

ATTACHMENTS:

1. Proposed Resolution No. 372
2. Parcel Map
3. Project Plans dated November 29, 2021
4. Landscape and Fence Plan
5. Site Photos from January 4, 2022
6. Property Development Regulations
7. Public Hearing Notice/Vicinity Map

PROPOSED

BEFORE THE ZONING ADMINISTRATOR OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Approving Variance to: 1) Reduce the Side Yard Setback from 5 feet to 3.7 feet and the Front Yard Setback from 20 feet to 19.4 feet at 130 E. 14th Lane; 2) Reduce the Side Yard Setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and 3) Reduce the Front Yard Setback from 20 feet to 17.5 feet at 521 E. 14th Street for "Yellow Roof Foundation E. 14th Street Assessor's Parcel Numbers: 073-111-036, 073-111-035, and 073-111-034	)	Resolution No. 372

The Zoning Administrator DOES RESOLVE as follows:

Section 1. Background

A. On November 29, 2021, Michael Evans of DeNova Homes, filed Planning Application No. 21-1609, requesting Zoning Administrator approval of a variance to: 1) reduce the side yard setback from 5 feet to 3.7 feet and the front yard setback from 20 feet to 19.4 feet at 130 E. 14th Lane; 2) reduce the side yard setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and 3) reduce the front yard setback from 20 feet to 17.5 feet at 521 E. 14th Street in the RS-5 (Single-Family Residential, 5,000 Square Foot Minimum) District. Assessor's Parcel Numbers: 073-111-036, 073-111-035, and 073-111-034.

B. The proposed project is governed by the policies and development standards in the Pittsburg General Plan and Pittsburg Municipal Code (PMC) Title 18 (Zoning.

C. Pursuant to PMC section 18.10.050 and 18.28.020, the Zoning Administrator shall, after notice pursuant to PMC sections 18.14.020(E) and (F) and notice to the Planning Commission, hear and decide each application for a variance, unless the zoning administrator determines that, because of the probable controversial nature of the proposal or because of its significance to the City, the Planning Commission should hear and decide the application.

D. On December 14, 2021, a Notice of Intent to conduct a Zoning Administrator public hearing pursuant to Pittsburg Municipal Code (PMC) section 18.10.050 regarding a request for approval of a variance was provided to the Planning Commission

E. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, "New Construction or Conversion of Small Structures," of the state CEQA Guidelines, sections 15303.

F. On or prior to January 4, 2022, notice of the January 14, 2022 public hearing was posted at City Hall, near the subject site, and on the 'Public Notices' section of the city's website; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the "Harbor and School St", "Downtown Pittsburg" and "El Pueblo" neighborhoods.

G. On January 14, 2022, the Zoning Administrator held a public hearing to consider Planning Application No. 21-1609, at which time oral and/or written testimony was considered.

Section 2. Findings

A. Based on the Zoning Administrator Staff Report entitled, "Consideration of a Variance from the Required Yard Setbacks for Yellow Roof Foundation E. 14th Street Variance, AP-21-1609 (VA)," dated January 14, 2022, and based on all the information contained in the Planning Division files on the project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburg, and based on all written and oral testimony presented at the meeting, the Zoning Administrator finds that:

1. All recitals above are true and correct and are incorporated herein by reference.

2. There are unique topographical, size, and shape characteristics of the parcels, which create a special circumstance to support a variance for the encroachment of the single-family dwelling units and accessory dwelling units. The parcels are smaller than the 5,000 square foot minimum lot size in the RS-5 District, and Parcels C and D are only 45 feet wide, less than the 50-foot minimum lot width. Additionally, Parcels C and D are a unique shape due to the head of the cul-de-sac from which the parcels have access to East 14th Street. As such, a reduction of certain required setbacks commensurate with the reduced lot size is warranted.

3. The variance will not constitute a grant of special privilege which is not generally available to other properties in the vicinity and in the same land use district, as other, conforming, properties in the RS-5 district are larger in size, more traditionally shaped, and therefore could fit the proposed housing units and ancillary structures without the need for a variance from the setbacks or lot coverage.

4. The variance substantially complies with the intent and purpose of the land use district to which the property is classified, as one single family home and one accessory dwelling unit are permitted in residential zone districts, and the proposed variances would not facilitate development beyond what is commonly

allowed.

Section 3. Decision

Based on the findings set forth above, the Zoning Administrator hereby approves Planning Application No. 21-1609, subject to the following conditions:

1. Conformity with Project Plans. The project shall be developed in substantial conformity with the approved plans, date stamped November 29, 2021, and attached to this resolution as Attachment 3, except as hereinafter may be modified. The Zoning Administrator, in their sole discretion, may allow for minor modifications.

2. Location of Mechanical Equipment. AC units shall not be placed in any side yard less than 5 feet unless the location is approved by the City Engineer.

3. Easements. No trees or structures shall be located above the sewer main, water lines, or any other easements located on the property.

4. Project Plans. Engineering and building plans shall be amended to show existing public utility easements, public access easements, and utility connections. Existing connections that are not directly connected to the City service lines shall be identified and permits shall be submitted to the Engineering Division to make those connections directly to City service lines. All utility connections to City service lines shall be completed prior to final inspection of the building/engineering permit to install the parking lot.

5. Location of Refuse Collection. Refuse bins for collection shall be placed in a location approved by Mt. Diablo Resource Recovery to ensure the company can access the bins.

Standard Conditions:

6. Other Agency Requirements. The applicant shall comply with all requirements of the City Development Services Department, the Contra Costa County Fire Protection District, Delta Diablo Sanitation District and all other applicable local, state and federal agencies. It is the responsibility of the applicant to contact each local, state, or federal agency for requirements that may pertain to this project.

7. Standard Conditions of Development. The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 shall apply as conditions of approval for this project, as applicable. Where there is a conflict between Planning Commission Resolution No. 8931 and the conditions identified herein, the specific conditions of this resolution shall apply.

8. Indemnification. Applicant agrees to indemnify, defend, and hold harmless the City of Pittsburg, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings

instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at applicant's sole cost and expense. Applicant may select its own legal counsel to represent applicant's interests at applicant's sole cost and expense. Applicant shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

9. Expiration of Approval. This approval will expire on January 14, 2024, unless a building permit has been issued and the improvements noted herein are diligently pursued to completion, or unless a written request for extension is filed with the Planning Division prior to the expiration date and is subsequently approved by the Zoning Administrator. The approval shall be valid for no more than six months from the date of building or grading permit issuance, unless work is commenced and diligently pursued prior to the expiration of the applicable building permit.

Section 4. Effective Date

This resolution shall take effect immediately upon adoption of this resolution.

The foregoing resolution was passed and adopted the 14th day of January 2022, by the Zoning Administrator of the City of Pittsburg, California.

_____
JOHN FUNDERBURG
ZONING ADMINSTRATOR

PARCEL MAP

SUBDIVISION MS 678-04

LOTS 20,21,22 & 23 IN BLOCK 230, AS SHOWN ON THE MAP OF CENTRAL ADDITION TO PITTSBURG, FILED OCTOBER 16, 1928, MAP BOOK 21, PAGE 579, CONTRA COSTA COUNTY RECORDS

CONTRA COSTA COUNTY, CALIFORNIA

DATE: MAY 2005 SCALE 1"=40'

BELLECCI & ASSOCIATES, INC.
CONCORD

GRAPHIC SCALE

40 0 20 40 80 160

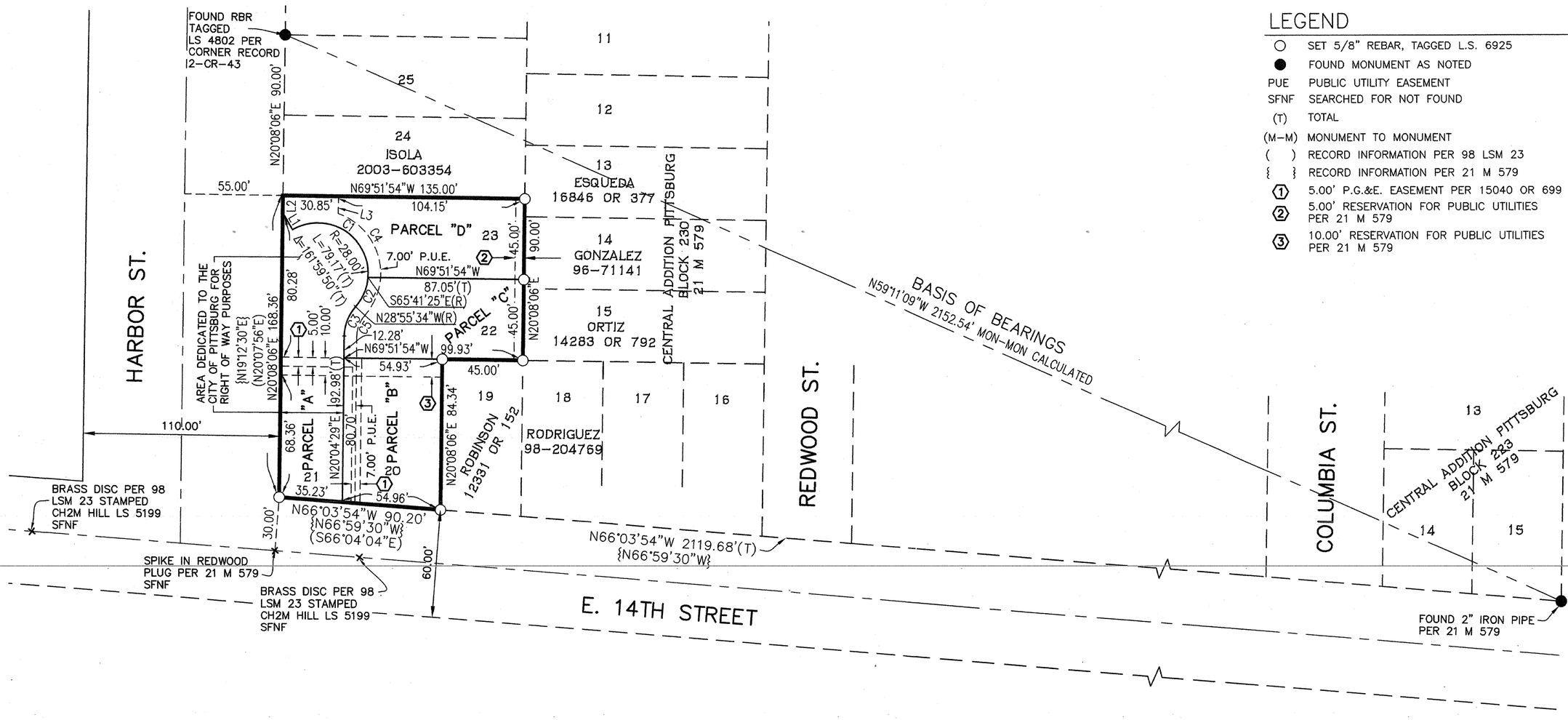
(IN FEET)
1 inch = 40 ft.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS A CALCULATED LINE BETWEEN A FOUND 1" IRON PIPE TAGGED L.S. 4802 AT THE NORTHWEST CORNER OF LOT 25, AS SHOWN ON A CORNER RECORD FILED NOVEMBER 21, 1986 FILE NO. 2-CR-43 AND A 2" IRON PIPE AT THE SOUTHEAST CORNER OF LOT 15 OF BLOCK 223 OF THE MAP OF CENTRAL ADDITION FILED OCTOBER 16, 1928 IN BOOK 21 OF MAPS PAGE 579 CONTRA COSTA COUNTY RECORDS; BEARING CALCULATED AS N 59°11'09" W.

LINE TABLE		
LINE	BEARING	LENGTH
L1	S10°55'24"E(R)	10.81'
L2	N20°08'06"E	9.72'
L3	N20°08'06"E	9.68'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	125°13'59"	28.00'	61.20'
C2	36°45'51"	28.00'	17.97'
C3	40°59'58"	25.00'	17.89'
C4	112°55'00"(T)	35.00'	68.98'(T)
C5	40°59'58"	18.00'	12.88'



LEGEND

- ○ SET 5/8" REBAR, TAGGED L.S. 6925
- ● FOUND MONUMENT AS NOTED
- PUE PUBLIC UTILITY EASEMENT
- SFNF SEARCHED FOR NOT FOUND
- (T) TOTAL
- (M-M) MONUMENT TO MONUMENT
- ( ) RECORD INFORMATION PER 98 LSM 23
- { } RECORD INFORMATION PER 21 M 579
- ① 5.00' P.G.&E. EASEMENT PER 15040 OR 699
- ② 5.00' RESERVATION FOR PUBLIC UTILITIES PER 21 M 579
- ③ 10.00' RESERVATION FOR PUBLIC UTILITIES PER 21 M 579

194 PM 46

K:\PROJECTS\2004\040225\dwg\040225 PM.dwg

A.P.N. 073-111-020, 021 & 030

SHEET 2 OF 2

194-46

PARCEL MAP

SUBDIVISION MS 678-04

LOTS 20, 21, 22 & 23 IN BLOCK 230, AS SHOWN ON THE MAP OF CENTRAL ADDITION TO PITTSBURG, FILED OCTOBER 16, 1928, MAP BOOK 21, PAGE 579, CONTRA COSTA COUNTY RECORDS

CONTRA COSTA COUNTY, CALIFORNIA

DATE: MAY 2005

BELLECCI & ASSOCIATES, INC.
CONCORD

OWNER'S STATEMENT

THE UNDERSIGNED, BEING THE PARTIES HAVING A RECORD TITLE INTEREST IN THE LANDS DELINEATED AND EMBRACED WITHIN THE HEAVY BLACK LINES UPON THIS MAP, DO HEREBY CONSENT TO THE MAKING AND RECORDATION OF THE SAME, AND DO HEREBY OFFER FOR DEDICATION TO THE CITY OF PITTSBURG IN FEE FOR PUBLIC USE THOSE PORTIONS OF SAID LANDS DESIGNATED ON SAID MAP AS "PARCEL A".

THE AREAS DESIGNATED AS "PUBLIC UTILITY EASEMENT OR P.U.E." ARE HEREBY DEDICATED TO THE CITY OF PITTSBURG OR ITS DESIGNEE FOR PUBLIC UTILITY PURPOSES.

THIS MAP SHOWS ALL THE EASEMENTS ON THE PREMISES, OR OF RECORD.

REDEVELOPMENT AGENCY OF THE CITY OF PITTSBURG, A PUBLIC BODY, CORPORATE AND POLITIC.

GARRETT D. EVANS
PRINT NAME

Director, Redevelopment Agency
TITLE

MARC S. GRISHAM
PRINT NAME

Executive Director Redevelopment Agency
TITLE

ACKNOWLEDGMENT

STATE OF CALIFORNIA)
COUNTY OF CONTRA COSTA)

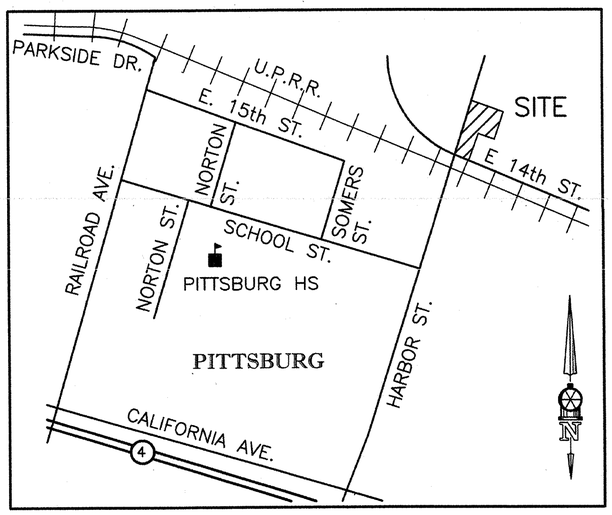
ON AUGUST 10, 2005, BEFORE ME, ALICE E. EVENSON
A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED
GARRETT D. EVANS AND MARC S. GRISHAM

PERSONALLY KNOWN TO ME ~~(OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE)~~ TO BE THE PERSON(S) WHOSE NAME(S) ~~IS/ARE~~ SUBSCRIBED TO THE FOREGOING STATEMENT AND ACKNOWLEDGED TO ME THAT ~~HE/SHE/~~THEY EXECUTED THE SAME IN ~~HIS/HER/~~THEIR AUTHORIZED CAPACITY(IES), AND THAT BY ~~HIS/HER/~~THEIR SIGNATURE(S) ON THE STATEMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE STATEMENT.

WITNESS MY HAND. Alice E. Evenson
(SIGNATURE)
ALICE E. EVENSON
(PRINT)

MY COMMISSION EXPIRES: MARCH 24, 2009

COUNTY OF PRINCIPAL PLACE OF BUSINESS: ~~CONTRA COSTA~~ CONTRA COSTA COUNTY



VICINITY MAP
N.T.S.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF THE REDEVELOPMENT AGENCY OF THE CITY OF PITTSBURG IN MAY OF 2005. I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

LICENSED LAND SURVEYOR
CHARLES N. CAPP
No. 6925
EXP. 9-30-05
STATE OF CALIFORNIA

CHARLES N. CAPP – L.S. 6925
EXP. DATE: 9/30/2005

CITY ENGINEER'S STATEMENT

I, JOSEPH A. SBRANTI, CITY ENGINEER OF THE CITY OF PITTSBURG, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, HEREBY STATE THAT I HAVE EXAMINED THIS MAP, ENTITLED "PARCEL MAP SUBDIVISION MS 678-04", THAT SAID SUBDIVISION IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF; ALL OF THE PROVISIONS OF STATE LAWS AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE HAVE BEEN COMPLIED WITH, AND I AM SATISFIED THAT THE SAME IS TECHNICALLY CORRECT.

~~A SOILS REPORT, PREPARED BY THE FIRM OF _____ DATED _____ IS ON FILE IN THE OFFICE OF THE CITY ENGINEER.~~

DATED: 7/26/05

JOSEPH A. SBRANTI
CITY ENGINEER
R.C.E. NO. 44181 EXPIRES: 9/30/07
L.S. NO. 7025 EXPIRES: 6/30/06

CITY PLANNING COMMISSION'S STATEMENT

I MELISSA AYRES, COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF PITTSBURG, HEREBY STATE THAT THE PLANNING COMMISSION OF THE CITY OF PITTSBURG, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, HAS APPROVED ON MARCH 8, 2005 THE TENTATIVE MAP NUMBER MS 678-04 OF THIS SUBDIVISION UPON WHICH THIS FINAL MAP IS BASED.

DATED: 7/26/05

Melissa Ayres
MELISSA AYRES, SECRETARY
PITTSBURG PLANNING COMMISSION
CITY OF PITTSBURG

CLERK OF THE BOARD OF SUPERVISORS CERTIFICATE

I STATE, AS CHECKED BELOW, THAT

( ) A TAX BOND ASSURING PAYMENT OF ALL TAXES WHICH ARE NOW A LIEN, BUT NOT YET PAYABLE, HAS BEEN RECEIVED AND FILED WITH THE BOARD OF SUPERVISORS OF CONTRA COSTA COUNTY, STATE OF CALIFORNIA.

(✓) ALL TAXES DUE HAVE BEEN PAID, AS CERTIFIED BY THE COUNTY REDEMPTION OFFICER.

DATED September 22, 2005

JOHN R. SWEETEN
CLERK OF THE BOARD OF SUPERVISORS
AND COUNTY ADMINISTRATOR OF CONTRA
COSTA COUNTY, STATE OF CALIFORNIA
BY: E. J. Glass
DEPUTY CLERK

BOARD OF SUPERVISORS
CONTRA COSTA COUNTY, CALIFORNIA

RECORDER'S STATEMENT

FILED THIS 27th DAY OF September, 2005, AT 1:58P .M. IN BOOK 194 OF PARCEL MAPS, AT PAGE 45, AT THE REQUEST OF THE REDEVELOPMENT AGENCY OF THE CITY OF PITTSBURG.

2005-368791
STEPHEN L. WEIR
COUNTY RECORDER
BY: D. Mondloch
DEPUTY COUNTY RECORDER

194 PM 45

A.P.N. 073-111-020, 021 & 030

SHEET 1 OF 2

K:\PROJECTS\2004\04025\dwg\04025 PM.dwg

9.27.05 1:58 PM 194-45

ATTACHMENT3

cbg
SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM
CIVIL ENGINEERS ▪ SURVEYORS ▪ PLANNERS

JOB NO. 3274

PROJECT: HARBOR STREET			PARCEL D
SUBDIVISION:	DATE: NOVEMBER 8, 2021		
LOCATION: PITTSBURG, CALIFORNIA			
SCALE: 1" = 20'	DRAWN BY: MJL	CHECKED BY: RTH	SHEET 1

REVIEWED AND APPROVED:

_____ _____
DATE

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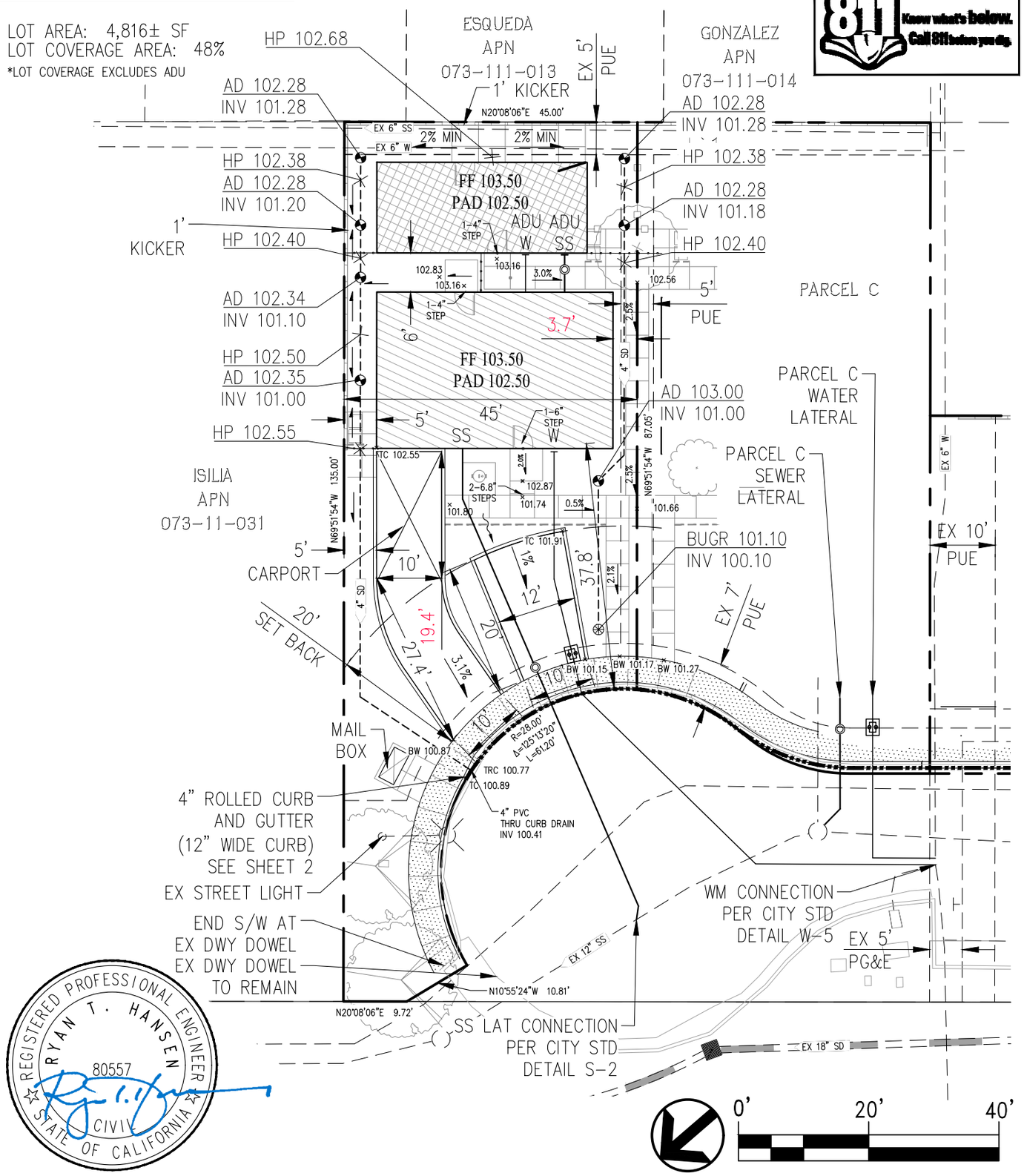

REGISTERED PROFESSIONAL ENGINEER
RYAN T. HANSEN
80557
CIVIL
STATE OF CALIFORNIA

130 E. 14TH LANE & 133 E. 14TH LANE (ADU) - PARCEL D

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SACRAMENTO (916) 375-1877
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JOB NO. 3274

PROJECT: HARBOR STREET			PARCEL D
SUBDIVISION:	DATE: NOVEMBER 8, 2021		
LOCATION: PITTSBURG, CALIFORNIA			
SCALE: 1" = 20'	DRAWN BY: MJL	CHECKED BY: RTH	SHEET 2

REVIEWED AND APPROVED:

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S-2	SANITARY SEWER LATERAL & TWO-WAY CLEANOUT
W-5	1" COPPER WATER SERVICE FOR 5/8" X 3/4" & 1" WATER METERS

CONTRA COSTA COUNTY STANDARD DETAILS

CA70	STANDARD SIDEWALK DETAILS
CA71	MEDIAN, CURB AND HMA DIKE DETAILS

LEGEND

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- EX W — EXISTING WATER
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SD	STORM DRAIN
SS	SANITARY SEWER
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EX	EXISTING
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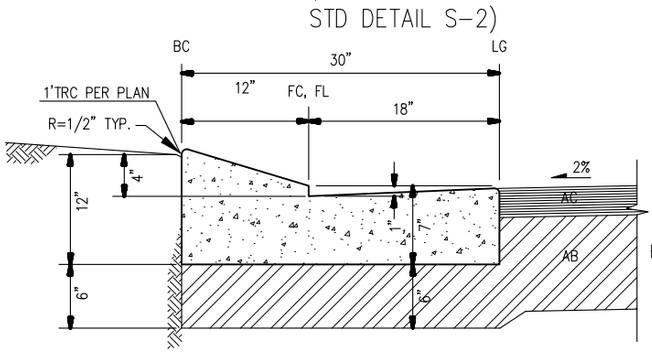
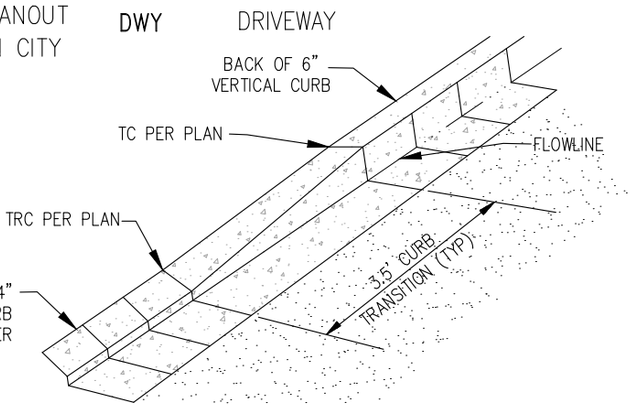
HP	HIGH POINT OF SWALE
S/W	SIDEWALK
L/S	LANDSCAPE
DWY	DRIVEWAY



4" ROLLED CATCH CURB AND GUTTER (12" WIDE CURB)

NOT TO SCALE



CURB TRANSITION DETAIL (6" VERTICAL TO 4" ROLLED)

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PROJECT: HARBOR STREET			PARCEL C
SUBDIVISION:	DATE: NOVEMBER 8, 2021		
LOCATION: PITTSBURG, CALIFORNIA			
SCALE: 1" = 20'	DRAWN BY: MJL	CHECKED BY: RTH	SHEET 1

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LOT AREA: 10,528 SF±
LOT COVERAGE AREA: 52%
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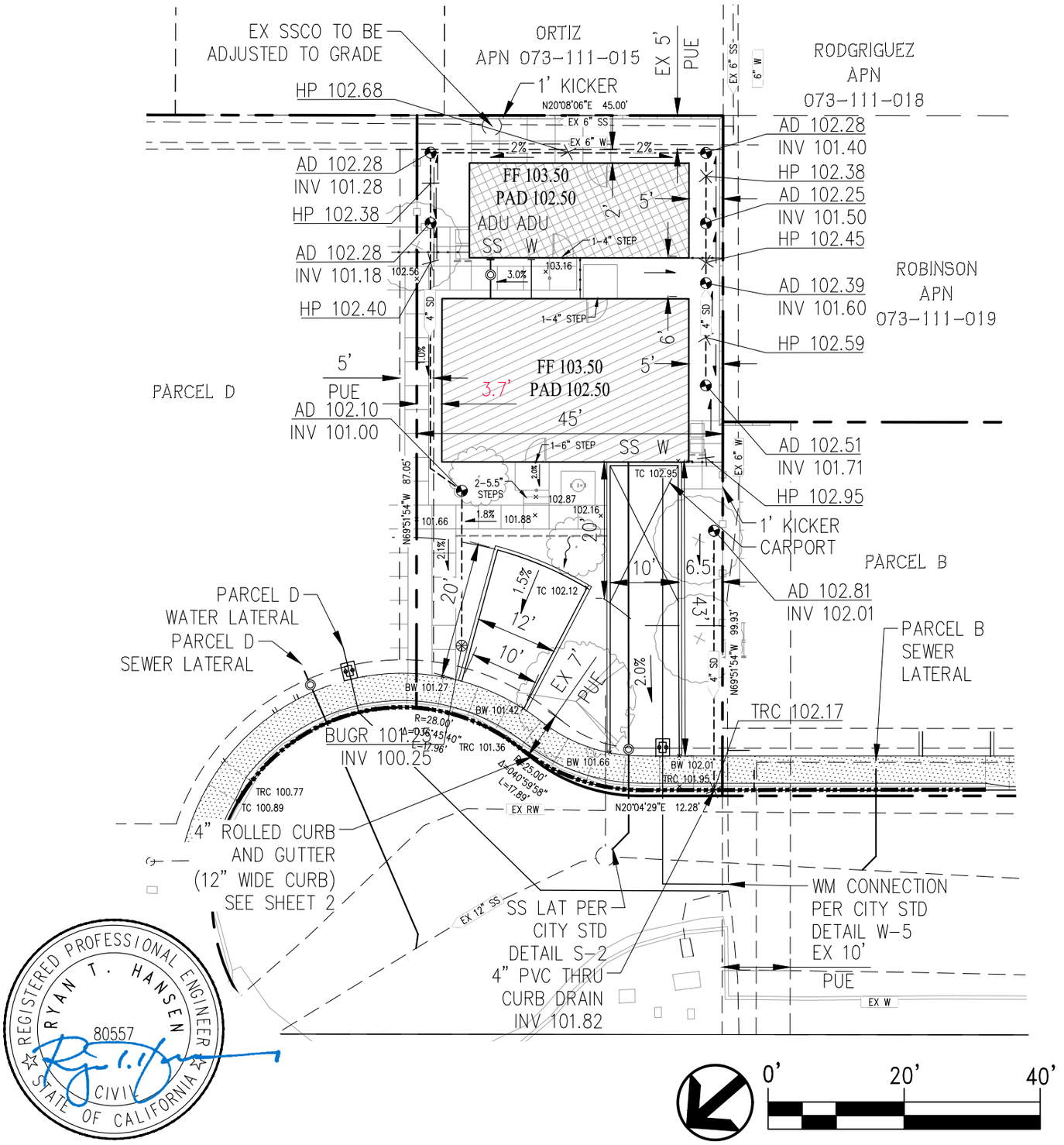

REGISTERED PROFESSIONAL ENGINEER
RYAN T. HANSEN
80557
CIVIL
STATE OF CALIFORNIA

137 E. 14TH LANE & 139 E. 14TH LANE (ADU) - PARCEL C

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SUBDIVISION:	DATE: NOVEMBER 8, 2021		
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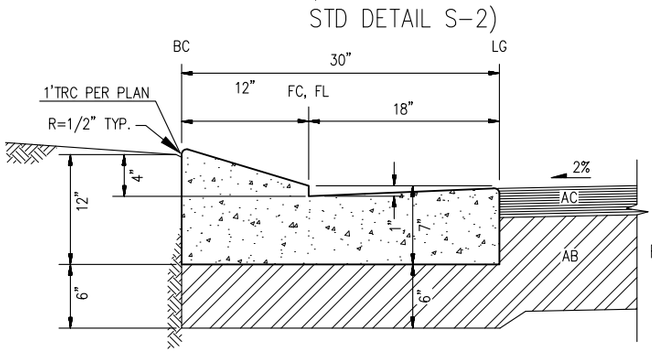

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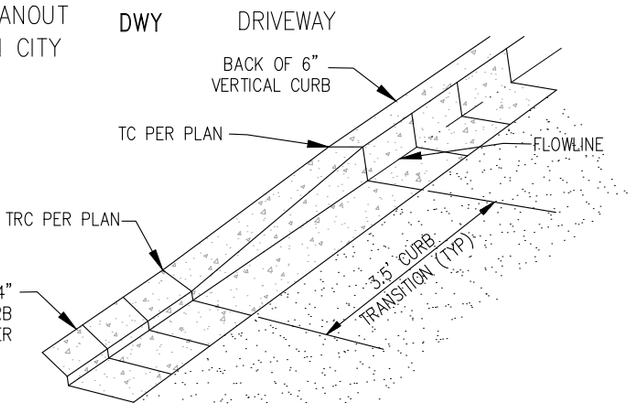

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JOB NO. 3274

PROJECT: HARBOR STREET			PARCEL B
SUBDIVISION:	DATE: NOVEMBER 8, 2021		
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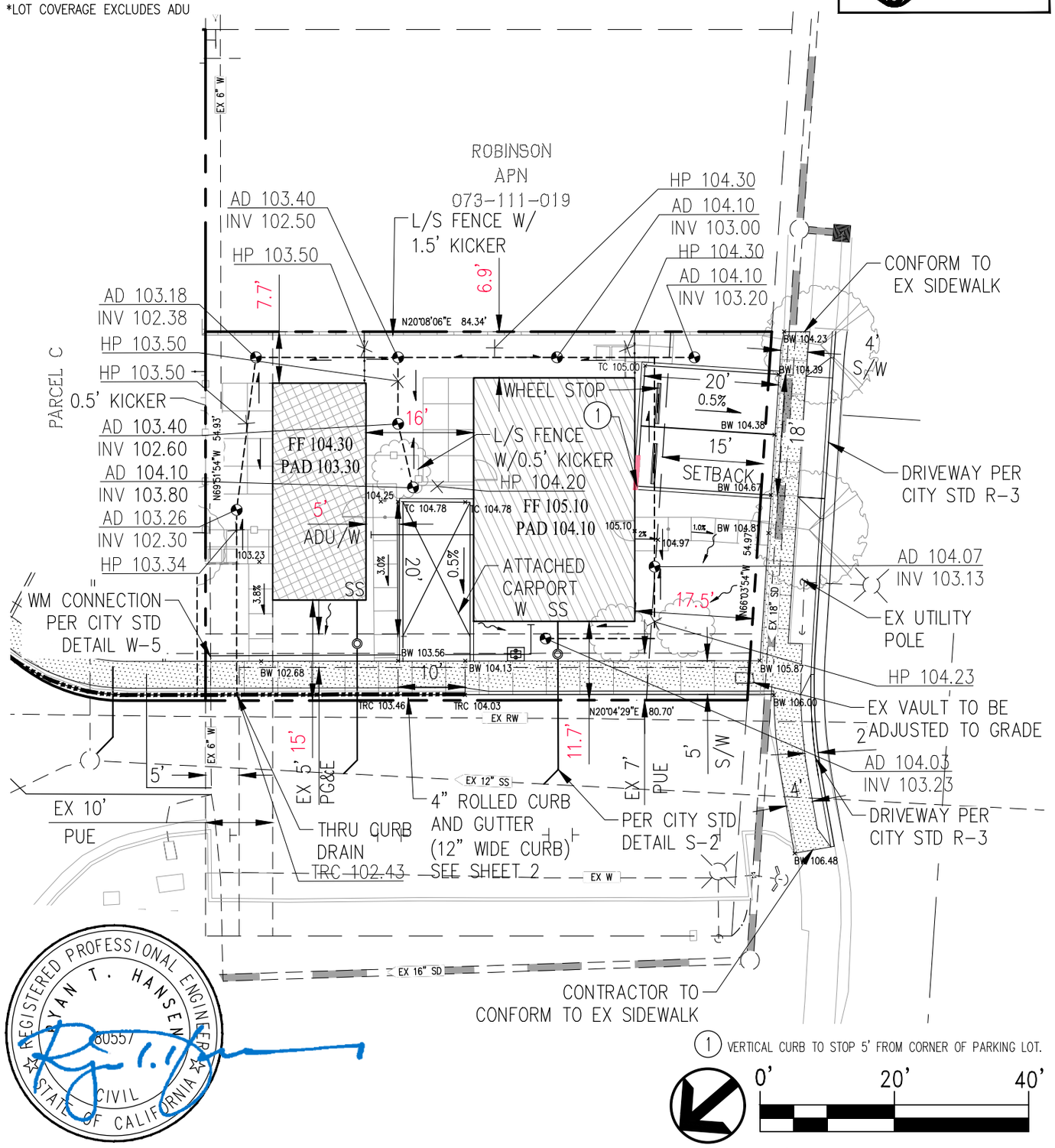

1 VERTICAL CURB TO STOP 5' FROM CORNER OF PARKING LOT.

0' 20' 40'

REGISTERED PROFESSIONAL ENGINEER
RYAN T. HANSEN
80557
CIVIL
STATE OF CALIFORNIA

521 E. 14TH STREET & 523 E. 14TH STREET (ADU) - PARCEL B

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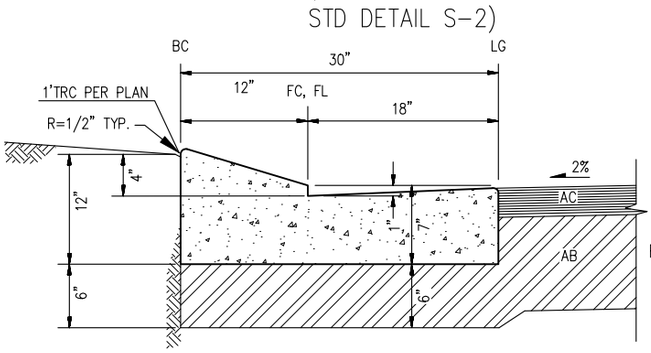

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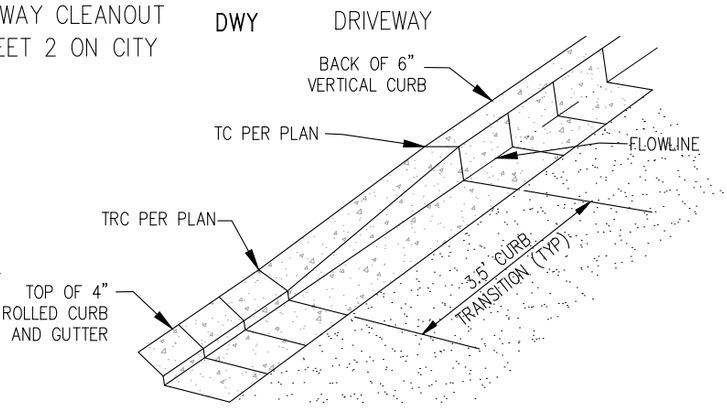

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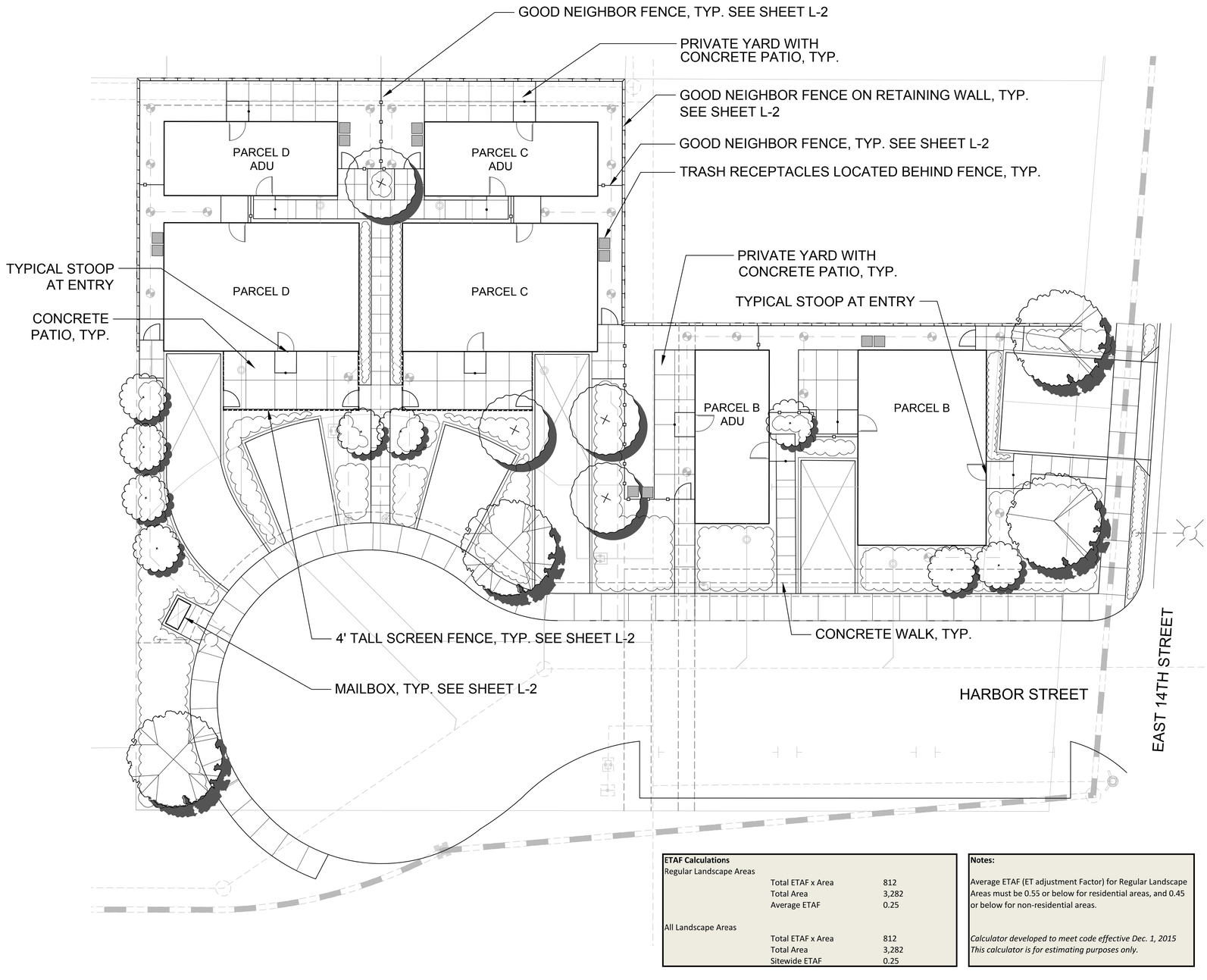


PLANT PALETTE

TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	FUNCTION
	ACER RUBRUM 'REDPOINTE'	REDPOINTE MAPLE STANDARD	24" BOX	MOD	SHADE
×	ARBUTUS X 'MARINA'	MADRONE STANDARD	24"BOX	LOW	ACCENT
	LAURUS X 'SARATOGA'	SARATOGA LAUREL STANDARD	15 GAL	LOW	SHADE
	PISTACIA CHINENSIS `KEITH DAVEY`	FRUITLESS CHINESE PISTACHE STANDARD	24" BOX	LOW	SHADE

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	FUNCTION
	CALLISTEMON VIMINALIS `LITTLE JOHN`	DWARF BOTTLE BRUSH	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	LOW	FOREGROUND/ACCENT
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	5 GAL	LOW	BACKGROUND/SCREEN
	GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND BUSH SNAPDRAGON	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	GREVILLEA 'NOELLII'	NOEL'S GREVILLEA	5 GAL	LOW	BACKGROUND/SCREEN
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	LOW	FOREGROUND/ACCENT
	KNIPHOFIA UVARIA	TORCHLILY	5 GAL	LOW	FOREGROUND/ACCENT
	MUHLENBERGIA CAPILLARIS	PINK MUHLY	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	NANDINA DOMESTICA 'HARBOUR DWARF'	HEAVENLY BAMBOO	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	OSTEOSPERMUM FRUTICOSUM	AFRICAN DAISY	1 GAL	LOW	FOREGROUND/ACCENT
	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF TOBIRA	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	PRUNUS CAROLINIANA `COMPACTA`	CAROLINA CHERRY	5 GAL	LOW	BACKGROUND/SCREEN
	SALVIA SPP.	SAGE SPECIES	5 GAL	LOW	MIDDLE GROUND/CONTRAST
	VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	1 GAL	LOW	MIDDLE GROUND/CONTRAST

GROUND COVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	FUNCTION
	CISTUS X PULVERULENTUS 'SUNSET'	SUNSET ROCKROSE	1 GAL	LOW	GROUND COVER/FOREGROUND
	MYOPORUM PARVIFOLIUM `PROSTRATUM`	MYOPORUM	1 GAL	LOW	GROUND COVER/FOREGROUND
	WESTRINGIA FRUTICOSA `MUNDI`	LOW COAST ROSEMARY	1 GAL	LOW	GROUND COVER/FOREGROUND

ETAF Calculations

Regular Landscape Areas		
	Total ETAF x Area	812
	Total Area	3,282
	Average ETAF	0.25
All Landscape Areas		
	Total ETAF x Area	812
	Total Area	3,282
	Sitewide ETAF	0.25

Notes:

Average ETAF (ET adjustment Factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Calculator developed to meet code effective Dec. 1, 2015
This calculator is for estimating purposes only.

Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.7. Model Water Efficient Landscape Ordinance

Use drop down menus or type in values in white cells only. Results appear in Yellow or Red highlighted cells below.

Site Information

Site Name → *Harbor Street - Yellow Roof Foundation*
Site Type → Residential **Allowed ETAF:** 0.55
Annual Eto (inches/yr) → 45.4

Hydrozone or Planting Description (a)	Plant Factor (PF)		Irrigation Method (b)	Irrigation Efficiency (IE) (c)	ETAF (PF/IE)	Landscape Area (sqft.)	ETAF x Area	*Estimated Total Water Use (gal./yr.)
Regular Landscape Areas								
SHRUBS (LOW)	0.2	Low	Drip	0.81	0.2	3,170	783	22,029
TREES (MOD)	0.4	Mod./Ave.	Bubbler	0.81	0.5	7	3	97
TREES (LOW)	0.2	Low	Bubbler	0.81	0.2	105	26	730
					SUBTOTAL →	**3,282**	**812**	**22,856**
Special Landscape Areas								
1					1	0	0	0
					SUBTOTAL →	**0**	**0**	**0**
						****Estimated Total Water Use (ETWU) →**		**22,856**
						Maximum Allowed Water Allowance (MAWA) →		**50,804**

(a) Hydrozone #/Planting Description
1.) Front Lawn
2.) low water use planting
3.) medium water use

(b) Irrigation Method
Overhead Spray
Drip
Bubbler

(c) Irrigation Efficiency
0.75 for spray head
0.81 for drip

(*) ETWU (Annual Gallons Required)=
Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year

(**) MAWA (Annual Gallons Allowed)=
(Eto) x (0.62) x [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

DeNova Homes

HARBOR STREET - YELLOW ROOF FOUNDATION

Pittsburg, California

OVERALL SITE PLAN
CONCEPTUAL LANDSCAPE PLAN
DECEMBER 2020

vanderToolen Associates
855 Bordeaux Way
Suite 240
Napa, CA 94558

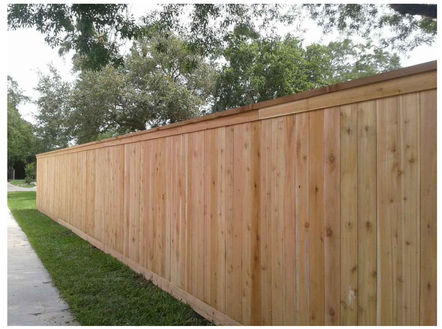
tel: 707.224.2299
www.vandertoolen.com

VTA

0' 5' 10' 20'
SCALE: 1" = 10'-0"
NORTH

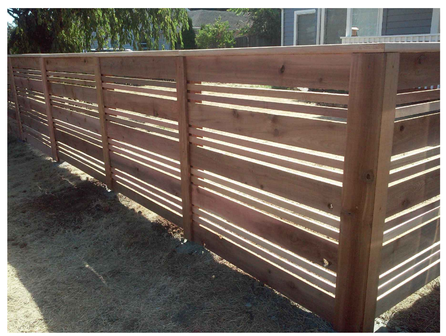
L-1
Project No. 05820

FENCING



GOOD NEIGHBOR FENCE

GOOD NEIGHBOR FENCE ON RETAINING WALL

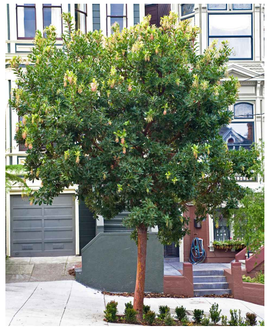


4' TALL SCREEN FENCE

TREES

ACER R. 'REDPOINTE'

LAURUS X 'SARATOGA'



ARBUTUS X 'MARINA'

PISTACIA C. 'KEITH DAVEY'

MAILBOX

SHRUBS & GROUNDCOVERS

CALLISTEMON V. 'LITTLE JOHN'

CISTUS X P. 'SUNSET'

DIETES BICOLOR

DODONAEA V. 'PURPUREA'

GALVEZIA S. 'FIRECRACKER'

GREVILLEA 'NOELLII'

HELICTOTRICHON SEMPERVIRENS

KNIPHOFIA UVARIA

MUHLENBERGIA CAPILLARIS

MYOPORUM P. 'PROSTRATUM'

NANDINA D. 'HARBOUR DWARF'

PITTOSPORUM T. 'WHEELER'S DWARF'

OSTEOSPERMUM FRUTICOSUM

PRUNUS C. 'COMPACTA'

SALVIA SPP.

VERBENA L. 'DE LA MINA'

WESTRINGIA F. 'MUNDI'

DeNova Homes

HARBOR STREET - YELLOW ROOF FOUNDATION

Pittsburg, California

IMAGERY

DECEMBER 2020

vanderToolen Associates
855 Bordeaux Way
Suite 240
Napa, CA 94558

tel: 707.224.2299
www.vandertoolen.com

L-2

Project No. 05820

Attachment 5
Site Photos
January 4, 2022
Yellow Roof Foundation E. 14th Street Variance, AP-21-1609 (VA)




Attachment 6
Property Development Regulations Table
Yellow Roof Foundation E. 14th Street Variance, AP-21-1609 (VA)

Development Regulations: *RS-5 (Single Family Residential, 5,000 Square Foot Minimum Lot Size) District*	**Required:**	**Proposed Parcel B (521 E. 14th Street):**	**Proposed Parcel C (137 E. 14th Lane):**	**Proposed Parcel D (130 E. 14th Lane):**
Minimum lot area (SF):	5,000 SF	4,528 SF	4,272 SF	4,816 SF
Minimum lot width (ft):	50 ft	54.93 ft	45 ft	45 ft
Minimum Yards:	-	-	-	-
Front:	20 ft	17.5 ft	20 ft	19.4 ft
Side:	5 ft (4ft for ADU)	5 ft	3.7 ft.	3.7 ft
Corner Side:	10 ft (4ft for ADU)	13.6 ft	n/a	n/a
Rear:	10 ft (4ft for ADU)	10 ft	5 ft. (ADU)	5 ft (ADU)
Maximum height of structures (ft):	28 ft	<28 ft	<28 ft	<28 ft
Maximum lot coverage:	50%	<50%	<50%	<50%
Parking Required for Single-family residential:	2 per unit including 1 covered	2 spaces (1 covered)	2 spaces (1 covered)	2 spaces (1 covered)

City of Pittsburg
Community Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **ZONING ADMINISTRATOR** of the City of Pittsburg will conduct an online public meeting on:

DATE: **January 14, 2022**
TIME: **3:00 p.m.**
PLACE: **Zoom Teleconference** **(see public advisory on last page)**

Concerning the following matter:

Yellow Roof Foundation E 14th Street Variance, AP-21-1609 (VA)
This is a public hearing on a request for Zoning Administrator approval of a variance to: 1) reduce the side yard setback from 5 feet to 3.7 feet and the front yard setback from 20 feet to 19.4 feet at 130 E. 14th Lane; 2) reduce the side yard setback from 5 feet to 3.7 feet at 137 E. 14th Lane; and 3) reduce the front yard setback from 20 feet to 17.5 feet at 521 E. 14th Street in the RS-5 (Single-Family Residential, 5,000 Square Foot Minimum) District. Assessor's Parcel Numbers: 073-111-036, 073-111-035, and 073-111-034 respectively.

PROJECT PLANNER: Celina Palmer, (925) 252-4029 or cpalmer@pittsburgca.gov

---

Why am I receiving this notice?
You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?
The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

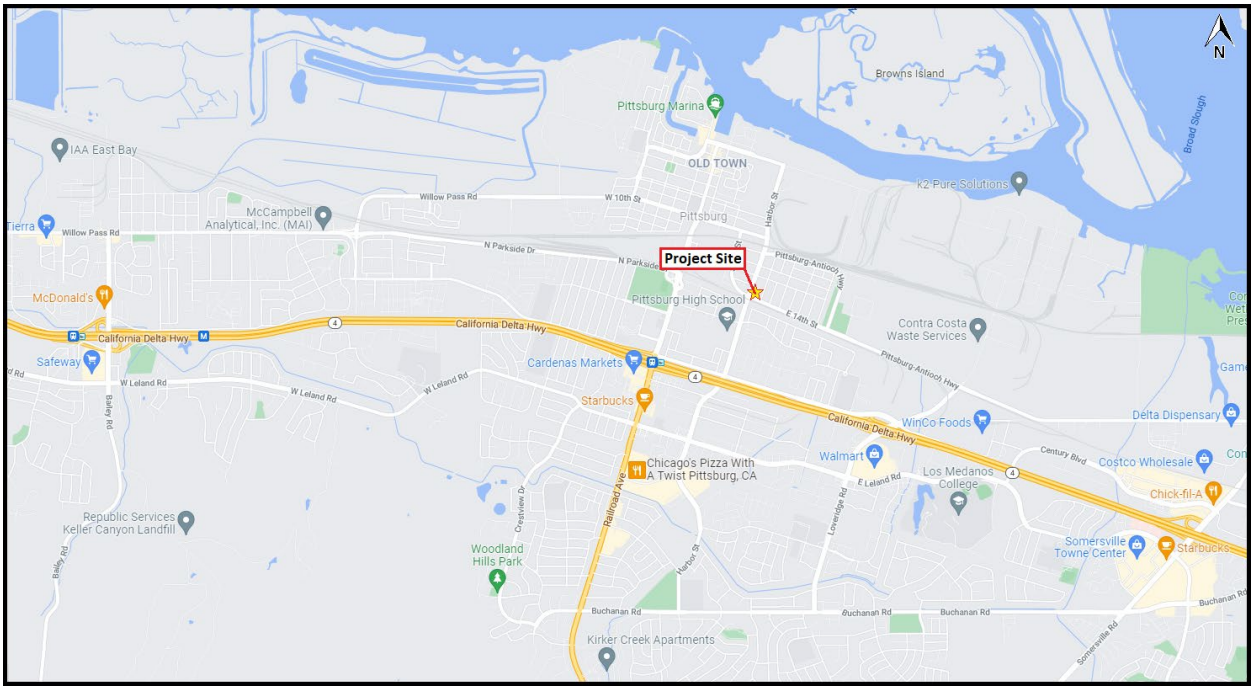
What can I do if I have comments on the project?
Comments or objections to the project can be made by writing or through oral testimony during the public hearing. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565. You may also register your comments or objections by participating in the Zoom Teleconference on the date and time listed above.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

Para información en español:
(925) 252-4920

JOHN FUNDERBURG
ZONING ADMINISTRATOR

Project Title: Yellow Roof Foundation E 14th Street Variance, AP-21-1609 (VA)
Location: 130 E. 14th Lane, 137 E. 14th Lane, and 521 E. 14th Street
APNs: 073-111-036, 073-111-035, and 073-111-034 respectively



PUBLIC ADVISORY:
CITY HALL WILL NOT BE OPEN TO THE PUBLIC

This meeting will be held in compliance with California Government Code Section 54953(e)(2), which was added by Assembly Bill 361 which became effective Oct. 1, 2021, pursuant to the Governor's Executive Order N-15-21.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, City Hall will not be open for the meeting. **The meeting of the Zoning Administrator for January 14, 2022,** will be conducted telephonically and video conferencing through Zoom.

Note: The Zoning Administrator will not be physically present at City Hall.

The public will participate via Zoom. Members of the public may comment live via Zoom video conferencing. Download Zoom from its website: www.zoom.com. Zoom also allows you to join the meeting by phone. Join the meeting at any point but be sure you are in the meeting prior to the Zoning Administrator consideration of the item on which you would like to provide comment.

From a PC, Mac, iPad, iPhone, or Android:

- **Webinar ID: 878 7883 0406**
- **Passcode: 744045**
- **By phone: US: 1-669-900-9128, *744045**

Speakers are asked to provide their name and city of residence for the record, although providing this is not required for participation.

Each speaker will be afforded up to 3 minutes to speak (at the discretion of the Mayor/Chair).

When the Administrator opens a public comment period on the item on which you would like to comment, please use the "Raise Hand" feature (or press *9 if connecting via telephone) which will alert staff that you have a comment to provide. You will be invited to speak when it is your turn. Speakers will be muted until their opportunity to provide public comment. You will not be seen or heard until it is your turn to speak. You will be muted again after the allotted time to speak. Just as in a live meeting inside the Council Chamber, only one comment per agenda item per person is allowed.

When making public comment during the meeting, please

1. Try to be in a room or space without a lot of background noise.
2. Mute your microphone until it is your turn to speak, then mute your speakers while speaking.
3. Have a strong, reliable internet connection or cell phone signal.

The City of Pittsburg thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.

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This agenda was posted at City Hall on January 11, 2022

City of Pittsburg
Community and Economic Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

Memorandum

MEMO: January 14, 2022
TO: Zoning Administrator
FROM: Kelsey Gunter, Assistant Planner

RE: **Consideration of a Variance to required setbacks at 120 Yellowood Place, AP-21-1608 (VA)**

ORIGINATED BY: Lloyd Lawson, 120 Yellowood Place, Pittsburg, CA 94565

SUBJECT: This is a public hearing on a request for Zoning Administrator approval of a variance to legalize an existing unpermitted attached carport and detached shed which encroach into the required five-foot side-yard setback. The project site is located at 120 Yellowood Place in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum) District. Assessor's Parcel Number: 089-360-031.

RECOMMENDATION: Staff recommends the Zoning Administrator adopt Resolution No. 371 denying Planning Application No. 21-1608.

BACKGROUND:

The applicant purchased the parcel in 2004. At the time, the attached carport and detached shed were both existing on site. In Fall of 2021, the applicant submitted plans to the City of Pittsburg Building Division for a residential addition. Upon review, the Community Development Department noticed that there were existing structures on site located in the required five-foot side-yard setback. The City reached out to the applicant and informed them that they must remove and/or relocate the unpermitted structures on site with a Building Permit or demolish the unpermitted structures with a Demolition Permit. The applicant requested to keep the unpermitted structures and attempt to obtain a Building Permit for both the existing attached carport and detached shed. A Variance application is the only route to permitting the unpermitted structures on site due to their location.

The Variance Planning application was filed on November 29, 2021. The Notice of Intent to Conduct a Zoning Administrator Public Hearing for this item was provided to the Planning Commission on December 14, 2021.

PROJECT DESCRIPTION:

Existing Conditions: The subject site is a 14,160-square-foot parcel located at the

northwest terminus of Yellowood Place, west of Saint John Lane and Valle Vista. The site was originally developed in 1977 and it includes a single-family dwelling and a retaining wall.

Proposed Project: The applicant is requesting Zoning Administrator approval of a variance to legalize the existing, unpermitted attached carport and detached shed. The unpermitted attached carport encroaches five feet into the required five-foot setback, as it sits on the northern property line. The unpermitted detached shed encroaches roughly four feet into the required five-foot setback.

CODE COMPLIANCE:

The subject site is in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum) District. Pittsburg Municipal Code (PMC) section 18.84.005 allows for the establishment of additions and accessory structures in residentially zoned districts, subject to limitations in location, rear yard placement, height, and size. The unpermitted attached carport and detached shed meet the height and size requirements, but fail to meet the rear yard placement and location requirements in PMC section 18.84.005.B, which states as follows:

> *Location – General. An accessory structure, other than an accessory dwelling unit, may occupy any portion of the lot where a main building is permitted. Except as provided in this subsection, a nonresidential accessory structure may not occupy a required yard or, other than a garage or carport, be placed beyond the front building line of a main structure on a site.*

The unpermitted attached carport and detached shed currently encroach into the required five-foot side-yard property line setback. The applicant is requesting a Variance to reduce the required five-foot setback to zero feet.

Required Findings: Pursuant to PMC section 18.16.050, the Zoning Administrator may grant a Variance from the required side-yard setback if they can make the three required findings that:

a. Because of special circumstances concerning the subject property including size, shape, topography, location or surroundings, the strict application of zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;

b. The Variance will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district; and

c. The Variance substantially complies with the intent and purpose of the land use district to which the property is classified.

Environmental: This item is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, "New Construction or Conversion of Small Structures" of the State CEQA Guidelines, section 15303(e).

Public Noticing: On or prior to January 4, 2022, notice of the January 14, 2022 public hearing was posted at City Hall, near the subject site, and on the 'Public Notices' section of the City's website; the notice was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the "Woodland Hills" neighborhood.

STAFF ANALYSIS:

Staff does not believe that the Zoning Administrator can make all the required findings to approve the Variance request for the unpermitted attached carport and detached shed structures. Staff acknowledges that the structures have existed on site for an extended period and that the lot width on the Assessor's Map Tract 4929, lot number 452 is depicted as 46.10 feet wide. However, PMC section 18.06.431 "Lot Width" is defined as "the horizontal distance between the lot lines of a site, measured at right angles to the lot depth at the rear of the required front yard." In the RS-6 Zoning District, the required front-yard setback is 20 feet. The lot width for Assessor's Parcel Number 089-360-031 is approximately 68 feet (measured at the 20-foot setback), greater than that of the RS-6 Zone minimum of 60 feet. Additionally, the project location is 14,160 square feet, which is more than double the RS-6 Zoning District minimum of 6,000 square feet. Provided this information, staff has concluded that the uniqueness of the size and shape of the site are not substantial enough to warrant a Variance for the encroachment of the unpermitted attached carport and detached shed structures. There is ample room on the project parcel for relocation of the unpermitted attached carport and detached shed structures. The applicant has stated that they wish to maintain the unpermitted attached carport and detached shed in their current locations on site due to the structures existing on site prior to the date of purchase (2004) as well as the added value that the structures bring to the neighborhood. The applicant has argued that the unpermitted structures are aesthetically pleasing. To further solidify this argument, the applicant has collected signatures from 25 neighbors asserting that they do not have any opposition to the height or location of the unpermitted attached carport and detached shed. However, consideration of neighborhood approval, duration of existence, and/or aesthetic reasoning do not qualify as special circumstances to grant a variance.

Further, staff believes that the Variance will constitute a grant of special privilege which is not generally available to other properties in the vicinity and in the same land use district, as the location standards for main and accessory structures exist for all properties located in the RS-6 District. The variance substantially complies with the intent and purpose of the land use district to which the property is classified, as residential additions

and accessory structures are permitted in Residential Zone Districts. The attached carport and detached shed structures would otherwise be required to meet all applicable development standards for main and accessory structures in the RS-6 District.

REQUIRED ACTION:

Move to adopt Resolution No. 371, denying Variance Application No. 21-1608.

ATTACHMENTS:

1. Proposed Resolution No. 371
2. Project Plans dated November 10, 2021
3. Site Photos from Project Intake (provided by Applicant)
4. Property Development Regulations
5. Signed Variance Approval from Neighbors
6. Public Hearing Notice/Vicinity Map

BEFORE THE ZONING ADMINISTRATOR OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Denying a Request for a Variance to Reduce the Required Side-Yard Setback from Five Feet to Zero Feet, for "120 Yellowood Variance, AP-21-1608 (VA)." APN: 089-360-031	)))))	Resolution No. 371

The Zoning Administrator DOES RESOLVE as follows:

Section 1. Background

A. On November 29, 2021, Lloyd Lawson, filed Planning Application No. 21-1608, requesting Zoning Administrator approval of a variance to legalize an existing unpermitted attached carport, and detached shed which both encroach into a required five-foot side yard setback at 120 Yellowood Place, in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum Lot Size) District. Assessor's Parcel Number 089-360-031.

B. The unpermitted attached carport is located on the side property line and the unpermitted detached shed is located roughly one foot from the side property line.

C. The proposed project is governed by the policies and development standards in the Pittsburg General Plan and Pittsburg Municipal Code (PMC) Title 18 (Zoning).

D. Pursuant to PMC section 18.10.050 and 18.28.020, the Zoning Administrator shall, after notice pursuant to PMC sections 18.14.020(E) and (F) and notice to the Planning Commission, hear and decide each application for a variance, unless the zoning administrator determines that, because of the probable controversial nature of the proposal or because of its significance to the City, the Planning Commission should hear and decide the application.

E. Pursuant to PMC section 16.16.050, the Zoning Administrator may grant a Variance from the required side-yard setback if they can make the three required findings that:

1. Because of the special circumstances concerning the subject property including size, shape, topography, location or surroundings, the strict application of the zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;

2. The Variance will not constitute a special privilege which is not generally available to other property in the vicinity and in the same zoning district; and

3. The Variance substantially complies with the intent and purpose of the land

use district to which the property is classified.

F. On December 14, 2021, a Notice of Intent to conduct a Zoning Administrator public hearing pursuant to PMC section 18.10.050 regarding a request for approval of a variance was provided to the Planning Commission.

G. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, "New Construction or Conversion of Small Structures," of the state CEQA Guidelines, section 15303(e).

H. On or prior to January 4, 2022, notice of the January 14, 2022 public hearing was posted at City Hall, near the subject site, and on the 'Public Notices' section of the city's website; the notice was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (Nextdoor) and was sent directly to all subscribed residents in the "Woodland Hills" neighborhood.

I. On January 14, 2022, the Zoning Administrator held a public hearing to consider Planning Application No. 21-1608, at which time oral and/or written testimony was considered.

Section 2. Findings

A. Based on the Zoning Administrator Staff Report entitled, "Consideration of a Variance to required setbacks at 120 Yellowood Place, AP-21-1608 (VA)," dated January 14, 2022, and based on all the information contained in the Planning Division files on the project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburg, and based on all written and oral testimony presented at the meeting, the Zoning Administrator finds that:

1. All recitals above are true and correct and are incorporated herein by reference.

2. Staff does not believe that the Zoning Administrator can make all the required findings to approve the Variance request for the unpermitted attached carport and detached shed structures. Staff acknowledges that the structures have existed on site for an extended period and that the lot width on the Assessor's Map Tract 4929, lot number 452 is depicted as 46.10 feet wide. However, PMC section 18.06.431 "Lot Width" is defined as "the horizontal distance between the lot lines of a site, measured at right angles to the lot depth at the rear of the required front yard." In the RS-6 Zoning District, the required front-yard setback is 20 feet. The lot width for Assessor's Parcel Number 089-360-031 is approximately 68 feet (measured at the 20-foot setback), greater than that of the RS-6 Zone minimum of 60 feet. Additionally, the project location is 14,160 square feet, which is more than double the RS-6 Zoning District minimum of

6,000 square feet. Provided this information, staff has concluded that the uniqueness of the size and shape of the site are not substantial enough to warrant a Variance for the encroachment of the unpermitted attached carport and detached shed structures. There is ample room on the project parcel for relocation of the unpermitted attached carport and detached shed structures. The applicant has stated that they wish to maintain the unpermitted attached carport and detached shed in their current locations on site due to the structures existing on site prior to the date of purchase (2004) as well as the added value that the structures bring to the neighborhood. The applicant has argued that the unpermitted structures are aesthetically pleasing. To further solidify this argument, the applicant has collected signatures from 25 neighbors asserting that they do not have any opposition to the height or location of the unpermitted attached carport and detached shed. However, consideration of neighborhood approval, duration of existence, and/or aesthetic reasoning do not qualify as special circumstances to grant a variance.

3. The Variance will constitute a grant of special privilege which is not generally available to other properties in the vicinity and in the same land use district, as the location standards for main and accessory structures exist for all properties located in the RS-6 District.

4. The Variance substantially complies with the intent and purpose of the land use district to which the property is classified, as residential additions and accessory structures are permitted in Residential Zone Districts. The attached carport and detached shed structures would otherwise be required to meet all applicable development standards for main and accessory structures in the RS-6 District. Provided this information, PMC section 16.16.050 states that all three findings must be found to grant a Variance.

Section 3. Decision

Based on the findings set forth above, the Zoning Administrator hereby denies Planning Application No. 21-1608.

Section 4. Effective Date

This resolution shall take effect immediately upon adoption of this resolution.

The foregoing resolution was adopted the 14th day of January 2022, by the Zoning Administrator of the City of Pittsburg, California.

_____
JOHN L. FUNDERBURG III
ZONING ADMINSTRATOR

CAREY BROS. REMODELING

REMODELING - KITCHENS - BATHS - ADDITIONS

CAREY BROS REMODELING
CA LIC: 442880
Morris Carey
DESIGNER

LAWSON RESIDENCE REMODEL & ADDITION

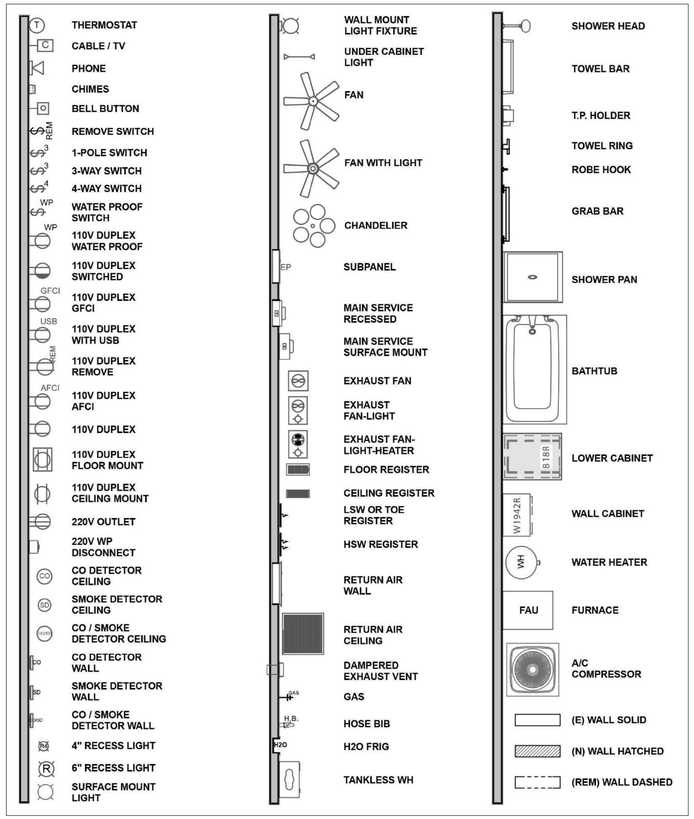
120 YELLOWOOD PL. PITTSBURG, CA 94565

ABBREVIATIONS:

A.B.	ANCHOR BOLT
A/C	AIR CONDITIONER
A.F.F.	ABOVE FINISH FLOOR
BLKG	BLOCKING
BM	BEAM
BR	BEDROOM
C.A.R.	COLD AIR RETURN
CLR	CLEAR
COMP	COMPOSITION ROOFING
CONC	CONCRETE
CONT	CONTINUOUS
CT	CERAMIC TILE
CY	CUBIC YARD
D	DRYER
DBL	DOUBLE
DF	DOUGLAS FIR
DH	DOUBLE HUNG
DS	DOWNSPOUT
DISP	DISPOSAL
DW	DISHWASHER
(E)	EXISTING
EA	EACH
ENCL	ENCLOSURE
EW	EACH WAY
EXT	EXTERIOR
FAU	FORCED AIR UNIT
F	FIXED
FJ	FINGER JOINT
FLR	FLOOR
FLUOR	FLUORESCENT
FM	FLUSH MOUNT
FDN	FOUNDATION
FP	FIREPLACE
FT/'	FOOT
FTG	FOOTING
FX	FIXTURE
GA	GAUGE
GC	GAS COCK
GDF	GREEN DOUGLAS FIR
GL	GLUE LAMINATED BEAM
GSM	GALVANIZED SHEETMETAL
HB	HOSEBIB
HC	HOLLOW CORE
GSM	GALVANIZED SHEETMETAL
HB	HOSEBIB

HC	HOLLOW CORE
HDR	HEADER
HR	HEAT REGISTER
H-V-L	HEAT-VENT-LIGHT
IN/"	INCH
INSUL	INSULATION
IP	INTERIOR PIER
LAM	LAMINATED
LF	LINIER FOOT
(N)	NEW
PLYWD	PLYWOOD
PNL	PANEL
POL	POLISHED
PR	PAIR
PTF	PRESSURE TREATED DOUG FIR
P&TS	PLUGGED & TOUCH SANDED
REBAR	REINFORCING BAR
RDWD	REDWOOD
REM	REMOVE
REPL	REPLACE
RL	ROLL
R&R	REMOVE & REPLACE
SC	SOLID CORE
SF	SQUARE FOOT
SGD	SLIDING GLASS DOOR
SGL	SINGLE
SH	SINGLE HUNG
SHT	SHEET
SHWR	SHOWER
S/I	SUPPLY & INSTALL
SPEC	SPECIFICATION
SQ	SQUARE
SR	SHEETROCK
SS	SANITARY SEWER
STRUC	STRUCTURAL
STW	STEMWALL
SUP	SUPPLY
SY	SQUARE YARD
TB	TOWEL BAR
TC	TRASH COMPACTOR
TEMP	TEMPERED
T&G	TONGUE & GROOVE
TPH	TOILET PAPER HOLDER
UON	UNLESS OTHERWISE NOTED
W	WASHER
W/	WITH
WDO	WINDOW
WHPL	WHIRLPOOL
WP	WATERPROOF
WWF	WELDED WIRE FABRIC

SYMBOLS:



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VICINITY MAP:

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SHEET INDEX & VICINITY MAP

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SHEET #
A-2

GENERAL NOTES

CODES - ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE COMPLIANCE WITH ALL APPLICABLE CODES AND TO ENSURE ALL PLANS MEET OR EXCEED APPLICABLE CODES BEFORE CONSTRUCTION BEGINS. THE SUB-CONTRACTORS SHALL REVIEW ALL PLANS AND MAKE ANY REQUESTS FOR CHANGES TO THE PLANS BEFORE MATERIALS ARE ORDERED OR CONSTRUCTION BEGINS.

INSULATION - ALL WALLS AND CEILINGS ARE TO BE PROPERLY INSULATED TO MEET OR EXCEED THE RECOMMENDATIONS OF THE U.S. DEPARTMENT OF ENERGY FOR THE ZONE WHERE THE BUILDING WILL BE CONSTRUCTED.

ALTERATIONS - THESE PLANS ARE A REPRESENTATION OF THE REQUIREMENTS OF THE CLIENT. ANY ALTERATIONS TO THE PLANS BY A SUB-CONTRACTOR SHALL BE APPROVED BY THE CLIENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE PLANS HAVE NOT BEEN REVIEWED BY A CERTIFIED STRUCTURAL ENGINEER OR LICENSED ARCHITECT UNLESS THEIR PROFESSIONAL STAMP IS PRESENT ON THE FLANS.

SITE PREPARATION – THE SITE SHOULD BE MANAGED, SO THAT THE SURFACE DRAINAGE PATTERN DIRECTS WATER AWAY FROM THE HOUSE AND DOES NOT HAVE AN IMPACT ON NEIGHBORING PROPERTIES. DRAINAGE SHALL BE DIRECTED TOWARD EXISTING STORM DRAINAGE. NEW CONCRETE FLATWORK SHALL BE SET LOW ENOUGH TO AVOID INTERFERENCE WITH THE DRAINAGE PATTERN. IF A WELL IS USED TO SUPPLY WATER TO THE HOUSE, SURFACE DRAINAGE MUST BE DIRECTED AWAY FROM WELL TO AVOID CONTAMINATION OF THE WATER SUPPLY.

FOUNDATION - NO FOOTINGS SHALL BE POURED ON LOOSE OR UNSUITABLE SOIL, IN WATER, OR ON FROZEN GROUND. ALL FOOTINGS MUST CONFORM TO APPLICABLE CODES REGARDING FROST PROTECTION. THE FOUNDATION PLAN SHOWN IS A LAYOUT ONLY. STRUCTURAL SPECIFICATIONS SHOULD BE DONE BY A LICENSED ENGINEER SOIL CONDITION, SLOPES, LOADS AND SITE CONDITIONS.

WALLS - EXTERIORS WALLS ARE 2"X4" WOOD STUDS @ 16" O.C. INTERIOR WALLS ARE 2"X4" WOOD STUDS @ 16" O.C. UNLESS OTHERWISE INDICATED OR REQUIRED FOR STRUCTURAL INTEGRITY OR PLUMBING.

BRICK VENEER - CONTROL JOINTS SHALL BE USED AS RECOMMENDED BY THE BRICK MANUFACTURER.

FIRE RESISTIVE MATERIALS - PROVIDE FIRE RESISTIVE MATERIALS WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO, FIRE STOPPING AT PENETRATIONS. USE PROPERLY SEALED 5/8" DRYWALL ON WALLS AND CEILINGS TO SEPARATE THE GARAGE FROM THE DWELLING. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL), AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE.

THERMAL & MOISTURE CONTROL - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THERMAL & MOISTURE CONTROL STRATEGIES INCLUDING PROPER VENTING OF THE ROOF AND ATTIC SPACE.

ELECTRICAL, PLUMBING, & HVAC -ALL ELECTRICAL, PLUMBING, AND HVAC SYSTEMS ARE TO BE DESIGNED AND INSTALLED BY A LICENSED CONTRACTOR. WHEN THESE SYSTEMS ARE NOTED IN THE PLANS, THEY ARE SIMPLY SUGGESTED LOCATIONS TO ASSIST THE LICENSED CONTRACTOR IN DETERMINING THE REQUIREMENTS OF THE CLIENT.

MEASUREMENTS - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS WILL VERIFY ALL ON-SITE MEASUREMENTS, AND THOSE MEASUREMENTS WILL OVERRULE THE MEASUREMENTS LISTED ON THE DRAWINGS. WHEN MEASUREMENTS ARE PROVIDED BY THE CLIENT, CAREY BROS. REMODELING IS NOT RESPONSIBLE FOR THEIR ACCURACY.

COVENANTS / LOCAL CODES - ENSURE ALL SUBDIVISION COVENANT RULES AND REGULATIONS ARE FOLLOWED. PROPER PERMITS WILL BE ACQUIRED BEFORE WORK BEGINS AS REQUIRED BY LAW.

GENERAL NOTES

DIMENSIONS – ALL INTERIOR DIMENSIONS ARE TO THE FACE OF WALLBOARD. ALL EXTERIOR DIMENSIONS ARE TO THE WALL STUDS AND TO THE CENTERLINE OF DOORS & WINDOWS.

PRESSURE TREATED WOOD – ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE. FASTENERS FOR PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICONE, BRONZE OR COPPER.

RESPONSABILITY – TO THE BEST OF OUR KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER ACCEPTANCE WILL BE THE CLIENT'S RESPONSIBILITY. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN SET, TO AVOID MISTAKES, CAREY BROS. REMODELING CANNOT GUARANTEE AGAINST HUMAN ERRORS.

STANDARD OF CARE – THESE PLANS WERE DRAWN TO BE USED BY A COMPETENT, EXPERIENCED GENERAL BUILDING CONTRACTOR. ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS OR CONDITIONS, WHICH WOULD AFFECT THE LOOK, INTEGRITY, OR CONSTRUCTION METHODOLOGY; PRIOR TO ANY CONSTRUCTION AND/OR FABRICATION. ANY DISCREPANCIES FOUND WILL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR IN WRITING PRIOR TO STARTING WORK. IN ADDITION TO ALL GOVERNING CODES AND HOMEOWNER'S ASSOCIATION REQUIREMENTS, CONSTRUCTION TECHNIQUES AND FINISHES SHALL MEET OR EXCEED SIMILAR FINISHES OF SIMILAR HOMES IN THE AREA AND SHALL MATCH EXISTING FINISHES AS CLOSELY AS POSSIBLE.

DOORS & WINDOWS – DOOR AND/OR WINDOW CONTRACTOR TO VERIFY SIZES, LOCATIONS AND STYLES AS SPECIFIED (AND GRAPHICALLY REPRESENTED ON PLANS AND ELEVATIONS). IT IS THE RESPONSIBILITY OF THE DOOR AND/OR WINDOW CONTRACTOR TO ENSURE THAT ALL DOORS/WINDOWS MEET APPLICABLE CODES AND REQUIREMENTS (INCLUDING TEMPERED GLASS & WEATHER-STRIPPING REQUIREMENTS) AND COORDINATE WITH ALL SUBCONTRACTORS FOR ROUGH OPENING REQUIREMENTS. ALL NEW WINDOWS AND GLASS DOORS SHALL HAVE INSULATED SINGLE STRENGTH GLASS AND SHALL BE SO CERTIFIED AND LABELED. OWNER TO HAVE THE FINAL SELECTION APPROVAL ON STYLES, TYPES AND MATERIALS OF ALL WINDOWS AND DOORS.

ALL BEDROOM ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

TEMPERED GLASS IS REQUIRED IN ALL HAZARDOUS AREAS AND WITH ALL GLASS WITHIN 18 INCHES OF THE FINISHED FLOOR, WITHIN 12 INCHES OF A DOOR AND WITHIN 12 INCHES OF A BATHING OR SHOWERING AREA.

ENGINEERING IS PER CODE

STRUCTURAL ENGINEING: THIS PROJECT HAS BEEN ENGINEERED PER CODE. THERE ARE NO POINT LOADS OR EXCESSIVE SHEAR REQUIREMENTS. LATERAL MOVEMENT HAS BEEN CONSIDERED AT THE CENTER OF THE ADDITION USING A STRUCTURAL WALL BETWEEN THE KITCHEN AND MASTER BATHROOM.

GENERAL NOTES

PLYWOOD - ALL PLYWOOD SHALL BE CD INTERIOR GRADE WITH EXTERIOR GLUE, THICKNESS AS DETAILED IN DRAWINGS AND SHALL HAVE AN AMERICAN PLYWOOD ASSOCIATION SPAN IDENTIFICATION INDEX STAMP. PLYWOOD FOR FLOORS SHALL BE TONGUE AND GROOVE.

WALLBOARD - GYPSUM WALLBOARD AT WALLS AND CEILINGS SHALL BE ATTACHED WITH COOLER NAILS OR CONSTRUCTION SCREWS TO ALL STUDS, JOIST AND TOP AND BOTTOM PLATES. USE 5D NAILING (OR 1 1/2" DRYWALL SCREWS) AT 6:12 WITH 1/2" SHEETROCK. GARAGE FIREWALLS SHALL HAVE 5/8" TYPE-X SHEETROCK AT GARAGE SIDE AND SHALL BE ATTACHED WITH 6D NAILS (OR 1 5/8" DRYWALL SCREWS) AT 6:12.

FRAMING - ALL FRAMING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE CRC, CBS, AND IN CONJUNCTION WITH THE SPECIFICATIONS OF THE CITY WHERE THE WORK WILL BE PERFORMED.

FINISHES - ALL INTERIOR AND EXTERIOR FINISHES SHALL MATCH THOSE THAT EXIST AS CLOSELY AS POSSIBLE, UNLESS SPECIFIED OTHERWISE. PROVIDE FIRE AND DRAFT STOPS AS PER CRC, CBC.

STUCCO - STUCCO SHALL BE 7/8" THICK APPLIED IN 3 COATS AND SHALL CURE 7 DAYS BETWEEN EACH COAT MINIMUM.

APPLICABLE CODES

APPLICABLE CODES INCLUDE: 2019 CBC, CEC, CRC, CMC, CPC, CGBSC, CALIFORNIA ENERGY CODES AND ALL APPLICABLE CITY ORDINANCES. AND PITTSBURG MUNICIPAL CODE TO THE LIST OF APPLICABLE CODES.

CONSTRUCTION TYPE PER CBC TABLE 601 VB

OCCUPANCY GROUPS PER CBC CHAPTER 3 - R-3 AND U

 # OF STORIES (TWO)

AUTOMATICE FIRE SPRINKLE SYSTEM PROTECTS THE BUILDING

DEFERRED SUBMITTALS

TRUSSES: TRUSS DRAWINGS & CALCULATIONS WILL BE SUBMITTIED FOR APPROVAL PRIOR TO FOUNDATION INSPECTION.

FIRE SPRINKLERS ENGINEERING & DESIGN WILL BE SUBMITTED TO THE APPROPRIATE AGENCY PRIOR TO FOUNDATION INSPECTION

ALL DEFERRED ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING WITHOUT ANY CORRECTIONS.DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING OFFICIAL HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS.

DISCLAIMER

GRAPHIC REPRESENTATIONS OF CABINETRY, APPLIANCES, PLUMBING & ELECTRICAL FIXTURES, PLUMBING & ELECTRICAL TRIM, DOORS & MILLWORK, AND OTHER FINISH ITEMS REPRESENTED WITHIN THIS SET OF PLANS; ARE INTENDED TO SHOW GENERAL DESIGN ONLY AND MAY NOT SHOW ALL PLAN FEATURES. THE GRAPHICS DO NOT REPRESENT A BRAND, MODEL, COLOR, TEXTURE OR DESIGN OF ACTUAL PRODUCTS. PLEASE REVIEW PLAN NOTES AND/OR FINISH SCHEDULE AND/OR SCOPE OF WORK FOR MORE CONCISE INFORMATION.

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GENERAL NOTES / APPLICABLE CODES

SCALE
NO SCALE

REVISION DATE
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MDC/CLC

SHEET #
A-3

GENERAL CONDITIONS

ATTIC VENTILATION SHALL BE NOT LESS THAN 1/150 OF THE ATTIC AREA. FOUNDATION VENTILATION SHALL EQUAL 1/150 OF THE SUBAREA AND SHALL BE CROSS-VENTILATED ON AT LEAST 2 OPPOSING WALLS. VENT SCREENS SHALL HAVE 1/4" CORROSION RESISTANT METAL MESH.

HEAT DUCTS SHALL BE INSULATED AND INSTALLED PER THE REQUIREMENTS OF THE MOST CURRENT CMC.

EXTERIOR DOORS AND WINDOWS SHALL BE WEATHER-STRIPPED.

NEW WINDOWS AND GLASS DOORS SHALL HAVE INSULATED SINGLE STRENGTH GLASS AND SHALL BE SO CERTIFIED AND LABELED.

EXHAUST FANS AND DUCTS SHALL BE DAMPERED, AND SHALL TERMINATE AT LEAST 3' FROM ANY OPENINGS INTO THE BUILDING.

WATER LINES SUPPLIED TO ADDITIONS SHALL BE TAPPED FROM THE NEAREST EXITING WATER LINE.

SANITARY SEWER LINES SHALL BE ABS OR OTHER EQUIVALENT MATERIAL APPROVED BY THE CITY WHERE THE WORK IS BEING PERFORMED. ALL WATER SUPPLY LINES SHALL BE IN COPPER, AND WHERE CONNECTED TO EXISTING GALVANIZED IRON PIPE, SHALL BE PROTECTED BY DIELECTRIC UNIONS.

PLUMBING FIXTURES SHALL BE APPROVED FOR USE BY THE CPC AND THE STATE OF CALIFORNIA ENERGY COMMISSION. ALL NEW SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING, PRESSURE BALANCE OR COMBINATION VALVE TYPE.

PLUMBING WORK SHALL CONFORM TO THE CPC AND THE SPECIFICATIONS OF THE CITY WHERE THE WORK IS BEING PERFORMED.

BATH FANS SHALL PROVIDE 5 CHANGES OF AIR PER HOUR MINIMUM.

ROOF JACKS SHALL COMPLY WITH CHAPTER 5 OF THE CPC.

ELECTRICAL CONTRACTOR SHALL DESIGN ALL WIRING IN CONJUNCTION WITH CEC, THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY WHERE THE WORK IS BEING PERFORMED AND THE PLANS AND SPECIFICATIONS.

TOILETS SHALL HAVE NO MORE THAN A 1.28-GALLON RESERVOIR; SHOWERHEADS SHALL NOT ALLOW A FLOW OF MORE THAN 1.8 GPM AT 80 PSI, LAVATORY FAUCETS SHALL NOT ALLOW A FLOW OF MORE THAN 1.2 GPM AND KITCHEN FAUCETS SHALL NOT ALLOW A FLOW OF MORE THAN 1.8 GPM.

120-VOLT, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT: KITCHENS, BATHROOMS, LAUNDRY ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.

RECEPTACLES SERVING KITCHEN COUNTER TOPS, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND EXTERIOR RECEPTACLES MUST BE GFCI PROTECTED.

KITCHEN SHALL BE PROVIDED WITH AT LEAST TWO DEDICATED 20 AMP SMALL APPLIANCE CIRCUITS.

RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET.

INTERIOR LIGHTING SHALL BE HIGH EFFICACY AND CONTROLLED BY A DIMMER SWITCH.

NEW OUTDOOR LIGHTING (IF ANY) IS TO BE HIGH-EFFICACY, TO BE CONTROLLED BY AN ON/OFF SWITCH, AND INCLUDE ONE OF THE FOLLOWING: A) PHOTOCELL AND MOTION SENSOR, B) PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, C) ASTRONOMICAL TIME CLOCK CONTROL, D) ENERGY MANAGEMENT CONTROL SYSTEM.

STUCCO SHALL BE 7/8" THICK APPLIED IN 3 COATS, AND SHALL CURE 7 DAYS BETWEEN EACH COAT MINIMUM.

FINISHES, BOTH INTERIOR AND EXTERIOR, SHALL MATCH THOSE THAT EXIST AS CLOSELY AS POSSIBLE, UNLESS SPECIFIED OTHERWISE.

FIRE AND DRAFT STOPS MUST BE PROVIDED AS PER CRC, CBC.

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MECHANICAL NOTES:

DUCTS – SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM R-6 OR CURRENT CODE.

REGISTERS – REGISTER, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.

DRYER EXHAUST – THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4 INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET, AND MAY NOT HAVE MORE THAN ONE 90 DEGREE TURN, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM THE PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.

EXHAUSTS – EXHAUST AIR FROM LAUNDRIES, KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN THE RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. THEY SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREAS INSIDE THE BUILDING. ALL SUCH EXHAUSTS SHALL HAVE DAMPERED OUTLETS AND SHALL PROVIDE A MINIMUM OF 5 CHANGES OF AIR PER HOUR.

AIR DISTRIBUTION SYSTEM – AIR DISTRIBUTION SYSTEM (SUPPLY & RETURN) SHALL BE BALANCED TO PROVIDE OPTIMUM AIR CIRCULATION THROUGHOUT ENTIRE CONDITIONED SPACE. A WRITTEN TEST & BALANCE REPORT IS REQUIRED FROM THE FIRM SPECIFICALLY ENGAGED IN THE BUSINESS OF BALANCE A/C SYSTEM. A/C CONTRACTOR SHALL PAY FOR THIS SERVICE AND PROVIDE THIS REPORT TO THE CONTRACTOR.

DUCT PENETRATIONS – ALL DUCT PENETRATIONS THROUGH THE ROOF SHALL BE LOCATED BETWEEN JOIST.

ELECTRICAL SUPPLY – THE MECHANICAL CONTRACTOR SHALL PROVIDE THE ELECTRICIAN AMP LOADS, KW LOADS AND/OR VOLTAGES (AND ANY OTHER PERTINENT ELECTRICAL INFORMATION) TO ENSURE PROPER FUSING AND WIRING TO MECHANICAL SYSTEMS.

PRE-BID VISIT – THE MECHANICAL CONTRACTOR SHALL VISIT AND EXAMINE THE PREMISES AND/OR JOB SITE SO AS TO ASCERTAIN THE EXISTING CONDITIONS BEFORE BIDDING. NO EXTRAS WELL BE ALLOWED BECAUSE OF FAILURE TO DETERMINE ACTUAL JOB CONDITIONS. CAREY BROS. REMODELING DESIGNER SHALL BE NOTIFIED OF ANY PLAN CHANGES REQUIRED TO FACILITATE THE INSTALLATION OF ANY MECHANICAL SYSTEMS BEFORE CONSTRUCTION.

FIRE DAMPERS – FIRE DAMPERS TO BE PROVIDED AT LOCATIONS AS REQUIRED BY GOVERNING CODES. FIRE DAMPERS TO BE PROVIDED WHEREVER A DUCT PENETRATES FIRE RATED CEILINGS OR WALLS.

PIPE SIZES – ROUTING & SIZING OF ALL PIPING AND CONDENSATION DRAIN PIPING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FIREPLACE – CONTRACTOR SHALL PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND A COPY OF THE APPLICABLE I.C.B.O. RESEARCH REPORT FOR THE BUILDING INSPECTOR ON ZERO CLEARANCE FIREPLACE INSTALLATIONS. PER I.R.C. ALL GAS FIREPLACES WILL BE PROPERLY VENTED.

STRUCTURE – THE BUILDING OR STRUCTURE SHALL NOT BE WEAKENED BY THE INSTALLATION OF MECHANICAL SYSTEM REPAIRS, ALTERATIONS OR REPLACEMENT. WHERE FLOORS, WALLS, CEILINGS, OR ANY OTHER PORTION OF THE BUILDING (OR STRUCTURE) MUST BE MODIFIED, IN ANY WAY, THE MECHANICAL CONTRACTOR SHALL FIRST ACQUIRE PERMISSION FROM THE BUILDING CONTRACTOR. THIS ACTION IS IN PLACE TO MAINTAIN A SAFE STRUCTURAL CONDITION IN ACCORDANCE WITH THE I.R.C.

RESPONSIBILITIES – ALL MECHANICAL WORK IS TO BE BIDDER DESIGNED BY A LICENSED MECHANICAL CONTRACTOR. VERIFY WITH MECHANICAL CONTRACTOR EXACT SYSTEM AND CAPABILITIES OF THAT SYSTEM PRIOR TO INSTALLATION. MECHANICAL CONTRACTOR TO ENSURE PROPER SIZING, BALANCE AND EFFICIENCY OF SYSTEM BASED ON THE FINAL EQUIPMENT SUPPLIED. MECHANICAL CONTRACTOR TO RETURN PRIOR TO CERTIFICATE-OF-OCCUPANCY TO CLEAN DUCTWORK OF CONSTRUCTION DEBRIS AND RE-BALANCE SYSTEM TO MANUFACTURER'S SPECIFICATIONS

BATH FANS - NEW BATH FANS (IF ANY) WILL BE ENERGY STAR COMPLIANT, TERMINATE OUTSIDE THE BUILDING, AND WILL BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO 80 PERCENT.

PLUMBING NOTES:

SHOWERS – SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

SHOWER WALLS – SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE OR AN APPROVED SOLID SURFACE MATERIAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. KERDI-BOARD SHALL BE USED AS BACKER MATERIAL FOR WALL TILE IN TUB-SHOWER AREAS AND WALL PANELS IN SHOWERS.

PLUMBING FIXTURES – PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: TOILETS SHALL HAVE NO MORE THAN A 1.28 GALLON RESERVOIR. SHOWER HEADS SHALL NOT ALLOW A FLOW OF MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI, FAUCETS SHALL NOT ALLOW A FLOW OF MORE THAN 1.2 GALLONS PER MINUTE. KITCHEN FAUCETS SHALL NOT ALLOW A FLOW OF MORE THAN 1.8 GALLONS PER MINUTE. ALL PLUMBING FIXTURES SHALL BE APPROVED FOR USE BY THE CPC AND THE STATE OF CALIFORNIA ENERGY COMMISSION.

WATER TREATMENT SYSTEMS – WATER TREATMENT SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.

DISHWASHER – DISHWASHERS SHALL BE CONNECTED TO A DISPOSER, VIA AN AIR GAP, AND SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE.

HOT WATER RECIRCULATION – A HOT WATER RECIRCULATION PUMP SHOULD BE PROVIDED FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM THE FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT OFF.

PIPE INSULATION – ALL PIPING SHALL BE WRAPPED OR INSULATED AS PER MANUFACTURER AND I.E.C.C. ALL HO AND COLD-WATER PIPING ABOVE CEILINGS SHALL BE INSULATED WITH OWNS CORNING FIBERGLASS PIPE INSULATION OR OTHER CODE APPROVED EQUIVALENT.

CLEANOUTS – ALL CLEANOUTS SHALL BE PROVIDED IN ACCORDANCE WITH I.P.C., I.R.C. AND OTHER LOCAL CODES THAT APPLY. A CLEANOUT MUST BE INSTALLED EVERY 100 FEET OF SEWER AND WHENEVER TURNS IN THE SEWER LINE EQUAL 270 DEGREES OR MORE.

ROOF JACKS – ALL ROOF JACKS SHALL COMPLY WITH CHAPTER 5 OF THE CPC.

WASTE LINES – SANITARY SEWER LINES SHALL BE ABS OR OTHER EQUIVALENT MATERIAL APPROVE BY THE CITY WHERE THE WORK IS BEING PERFORMED. ALL WASTE LINES UNDER A SLAB SHALL BE CAST IRON OR CODE APPROVED ABS.

WATER LINES – WATER LINES SUPPLIED TO ADDITIONS SHALL BE TAPPED FROM THE NEAREST EXISTING WATER LINE. ALL WATER LINES SHALL BE COPPER, AND WHERE CONNECTED TO EXISTING GALVANIZED IRON PIPE, SHALL BE PROTECTED BY DI-ELECTRIC UNIONS.

CONTRACTOR VISIT – ALL PLUMBING WORK TO BE BIDDER-DESIGNED BY A LICENSED PLUMBER. THE PLUMBING CONTRACTOR SHALL VISIT AND EXAMINE THE PREMISES AND/OR JOB SITE SO AS TO ASCERTAIN THE EXISTING CONDITIONS BEFORE BIDDING. NO EXTRAS WILL BE ALLOWED BECAUSE OF THE CONTRACTOR'S FAILURE TO DETERMINE ACTUAL JOB SITE CONDITIONS.

SHUT-OFFS – PROVIDE ¼ TURN HANDLE ANGLE STOP VALVES AND BRAIDED STAINLESS STEEL WATER SUPPLY LINES AT ALL HOT AND COLD WATER SUPPLIES TO FIXTURES.

WATER HEATER INSTALLATION – DI-ELECTRIC UNIONS SHALL BE PROVIDED AT ALL CONNECTIONS TO WATER HEATERS. PROVIDE A.S.M.E CODED P & T RELIEF VALVE. RELIEF VALVE DRAIN SHALL TERMINATE 6 INCHES ABOVE FINISHED GRADE AND TRAPPED. WATER HEATER SHALL BE FITTED WITH APPROVED EARTHQUAKE STRAPS ATTACHED TO SOLID FRAMING. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF 4 INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. A PAN WITH DRAIN SHALL BE PLACED UNDER ALL WATER HEATERS TO PREVENT DAMAGE FROM A TANK FAILURE. WATER HEATERS SHALL BE PROVIDED WITH UPPER AND LOWER COMBUSTION AIR.

WATER HEATER IN GARAGE – WHEN A WATER HEATER IS LOCATED IN A GARAGE AREA, IT MUST BE INSTALLED WITH THE SOURCE OF IGNITION A MINIMUM OF 18 INCHES ABOVE THE FLOOR WITH A BARRIER TO PREVENT A VEHICLE FROM STRIKING IT.

PLUMBING WORK – ALL PLUMBING WORK SHALL CONFORM TO THE CPC AND THE SPECIFICATIONS OF THE CITY WHERE THE WORK IS BEING PERFORMED

GAS SHUT-OFF VALVE - WHEN GAS IS SUPPLIED TO A FIREPLACE THE SHUT-OF VALVE MUST BE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 6 FEET OF THE APPLIANCE.

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GENERAL CONDITIONS & HVAC & PLUMBING NOTES

SCALE
NO SCALE

REVISION DATE
NOVEMBER 18, 2021

DRAWN BY
MDC/CLC

SHEET #
A-4

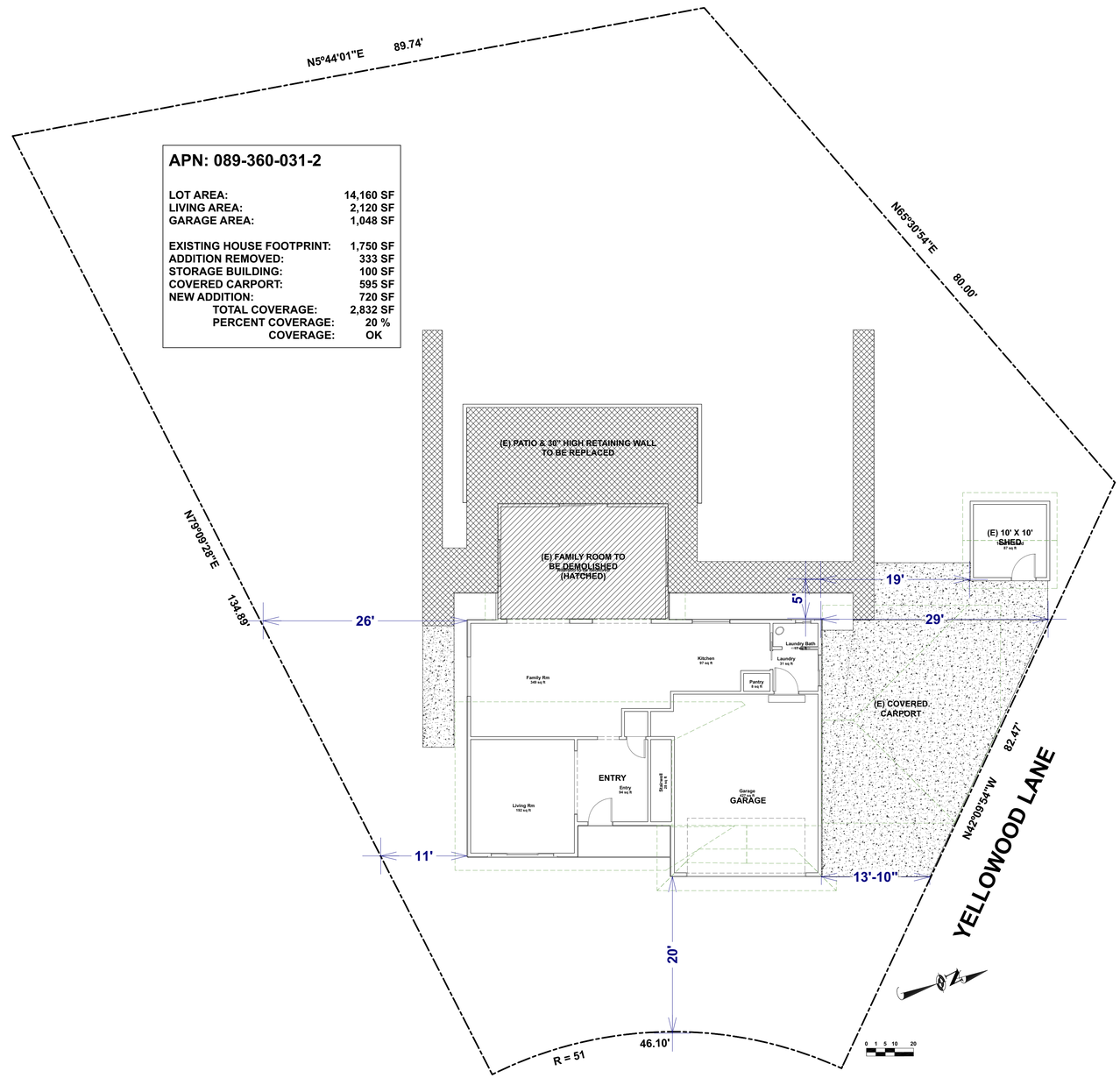
SCOPE OF WORK:

THE LAWSON RESIDENCE IS A FOUR-BEDROOM, TWO- AND ONE-HALF BATH, TWO-STORY HOME LOCATED IN PITTSBURG, CALIFORNIA. THE HOME IS SITUATED ON A HILLSIDE LOT WITH A SLIGHT DROP TO THE STREET FROM THE ORIGINAL BUILDING PAD. THERE IS AN UPSLOPE IN THE REAR YARD – A PORTION OF WHICH WAS EXCAVATED AND SUPPORTED BY A CONCRETE RETAINING WALL, WHICH IS BEGINNING TO FAIL. ALSO, IN THAT SAME AREA OF THE PROPERTY, THERE IS AN ILLEGAL FAMILY ROOM ADDITION, WHICH THE LAWSONS WISH TO HAVE REMOVED.

ONCE THE ADDITION AND RETAINING WALL ARE REMOVED, THE LAWSONS WISH TO USE THE SUBJECT AREA FOR AN ADDITION TO THE BACK OF THEIR HOME. THE ADDITION WOULD HOUSE A LARGER KITCHEN, A DINING ROOM AND A DOWNSTAIRS MASTER SUITE TO FACILITATE AGING-IN-PLACE. THE AREA IN THE HOME THAT IS CURRENTLY BEING USED AS A DINING ROOM WOULD RETURN TO BEING A FAMILY ROOM. THE EXISTING MASONRY FIREPLACE IN THE FAMILY ROOM WOULD BE RETROFITTED WITH GAS AND ELECTRICITY TO SUPPORT A NEW ENERGY-EFFICIENT GAS FIREPLACE INSERT.

ONE SECTION OF THE EXISTING LAWSON KITCHEN IS TO BE CONVERTED TO A PANTRY, WHILE A SECOND PART WILL BE CONVERTED TO A MASTER BEDROOM HALLWAY.

THE LAWSONS WOULD LIKE TO RAISE THE SUNKEN FLOOR IN THEIR LIVING ROOM APPROXIMATELY SIX INCHES TO ALIGN WITH THE HEIGHT OF THE MAIN FLOOR. THEY WOULD LIKE TO ADD A PAIR OF FRENCH DOORS TO SEPARATE THE LIVING ROOM FROM THE ENTRY. ADDITIONALLY, THEY WOULD LIKE TO ADD A 20 AMP PLUG CIRCUIT TO THE LIVING ROOM SO THAT IT CAN DOUBLE AS A HOME OFFICE.



PLOT PLAN

scale: 1/8" = 1'-0"

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Morris Carey
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PLOT PLAN OF EXISTING

SCALE
1/8" = 1'

REVISION DATE
NOVEMBER 10, 2021

DRAWN BY
MDC/CLC

SHEET #
A-5

SCOPE OF WORK:

THE LAWSON RESIDENCE IS A FOUR-BEDROOM, TWO- AND ONE-HALF BATH, TWO-STORY HOME LOCATED IN PITTSBURG, CALIFORNIA. THE HOME IS SITUATED ON A HILLSIDE LOT WITH A SLIGHT DROP TO THE STREET FROM THE ORIGINAL BUILDING PAD. THERE IS AN UPSLOPE IN THE REAR YARD – A PORTION OF WHICH WAS EXCAVATED AND SUPPORTED BY A CONCRETE RETAINING WALL, WHICH IS BEGINNING TO FAIL. ALSO, IN THAT SAME AREA OF THE PROPERTY, THERE IS AN ILLEGAL FAMILY ROOM ADDITION, WHICH THE LAWSONS WISH TO HAVE REMOVED.

ONCE THE ADDITION AND RETAINING WALL ARE REMOVED, THE LAWSONS WISH TO USE THE SUBJECT AREA FOR AN ADDITION TO THE BACK OF THEIR HOME. THE ADDITION WOULD HOUSE A LARGER KITCHEN, A DINING ROOM AND A DOWNSTAIRS MASTER SUITE TO FACILITATE AGING-IN-PLACE. THE AREA IN THE HOME THAT IS CURRENTLY BEING USED AS A DINING ROOM WOULD RETURN TO BEING A FAMILY ROOM. THE EXISTING MASONRY FIREPLACE IN THE FAMILY ROOM WOULD BE RETROFITTED WITH GAS AND ELECTRICITY TO SUPPORT A NEW ENERGY-EFFICIENT GAS FIREPLACE INSERT.

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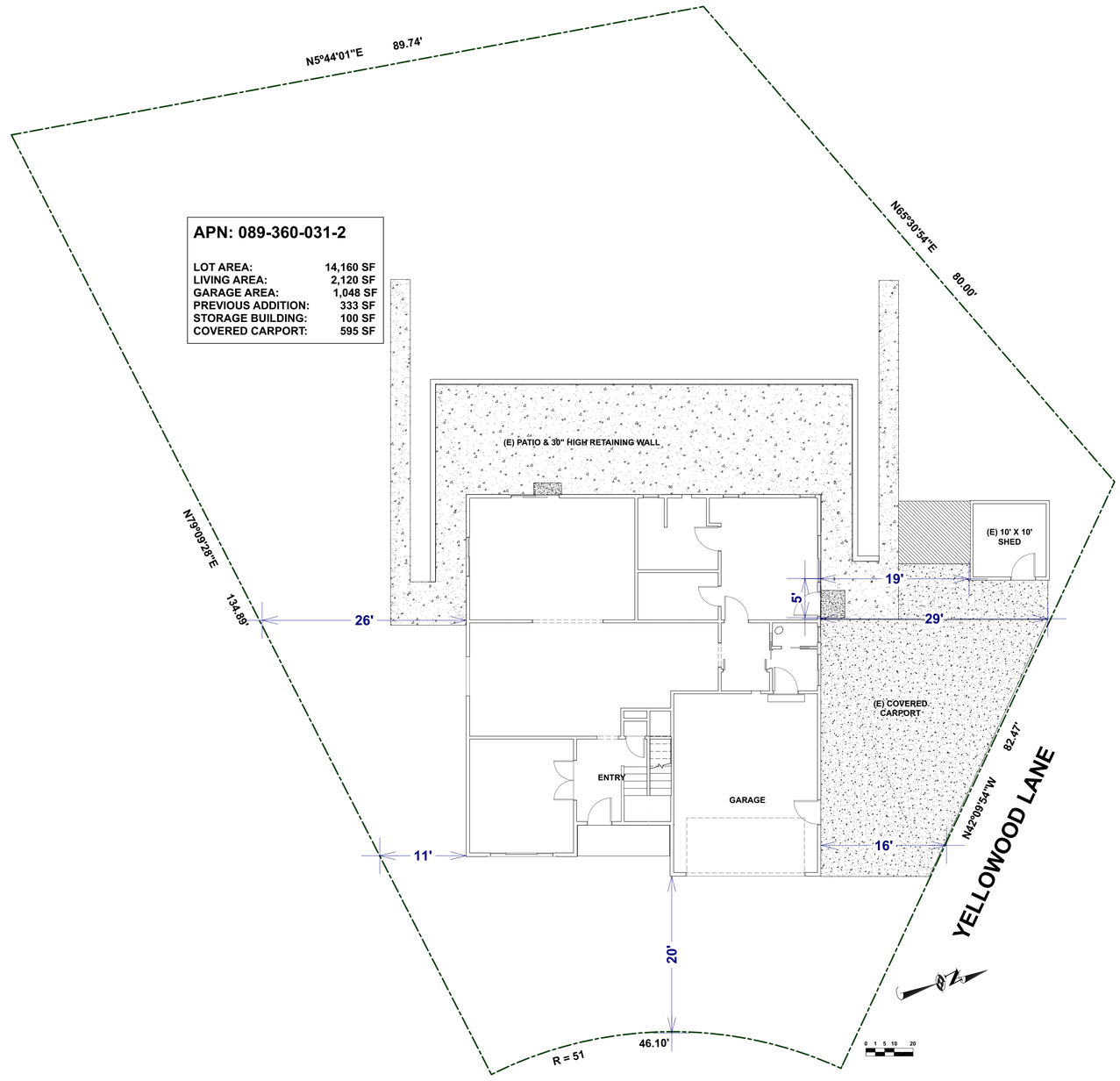

YELLOWOOD PLACE

PROPOSED PLOT PLAN

scale: 1/8" = 1'-0"

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Maree Carey
DESIGNER

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PLOT PLAN OF PROPOSED

SCALE
1/8" = 1'

REVISION DATE
NOVEMBER 16, 2021

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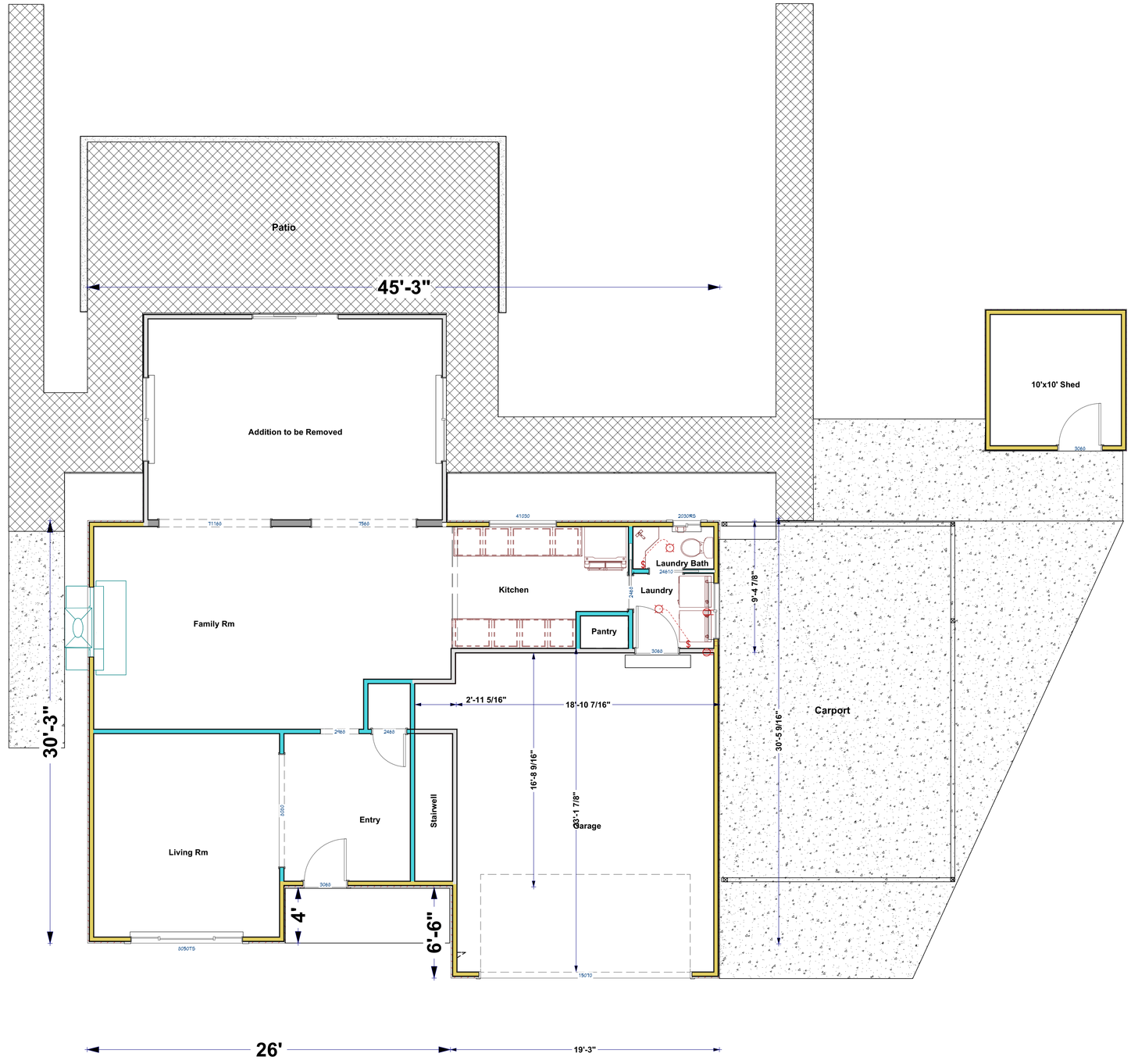
MDC/CLC

SHEET #
A-5A



AS-BUILT FLOOR PLAN

scale: 1/4" = 1'-0"

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Monica Carey
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AS-BUILT FLOOR PLAN

SCALE
1/4" = 1"

REVISION DATE
NOVEMBER 16, 2021

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SHEET #
A-6

REMODELING NOTES:

DIMENSIONS - EVERY EFFORT HAS BEEN MADE TO ENSURE THE DIMENSIONS OF THE EXISTING BUILDING ARE ACCURATE. SOME DIMENSIONS MAY NOT BE AVAILABLE DUE TO SEALED CAVITIES, FRAMING WHICH IS NOT EXPOSED OR LIMITED ACCESS. ALL DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION OR ORDERING MATERIALS. WHERE DIMENSIONS ARE SUPPLIED BY THE CLIENT OR A THIRD PARTY, THE ACCURACY OF THE MEASUREMENTS ARE BASED ON INFORMATION PROVIDED AND NOT INDEPENDENTLY CONFIRMED BY THE DESIGNER.

HAZARDOUS MATERIALS - THE GENERAL CONTRACTOR, AT THE OWNER'S EXPENSE, WILL BE RESPONSIBLE FOR THE TESTING OF ANY HAZARDOUS MATERIALS IN THE EXISTING STRUCTURE BEFORE CONSTRUCTION BEGINS. THIS INCLUDES, BUT IS NOT LIMITED TO ASBESTOS, LEAD, POLYVINYL CHLORIDE, CREOSOTES, HALOGENATED FLAME RETARDANTS, CADMIUM, VOLATILE ORGANIC COMPOUNDS, SILICA AND FIBERGLASS. A PLAN WILL THEN BE DEVELOPED TO ABATE (IF REQUIRED) ANY HAZARDOUS MATERIALS AT THE OWNER'S EXPENSE. ALL HAZARDOUS MATERIALS ABATEMENT SHALL BE DONE BY A LICENSED CONTRACTOR USING PROPER SAFETY EQUIPMENT.

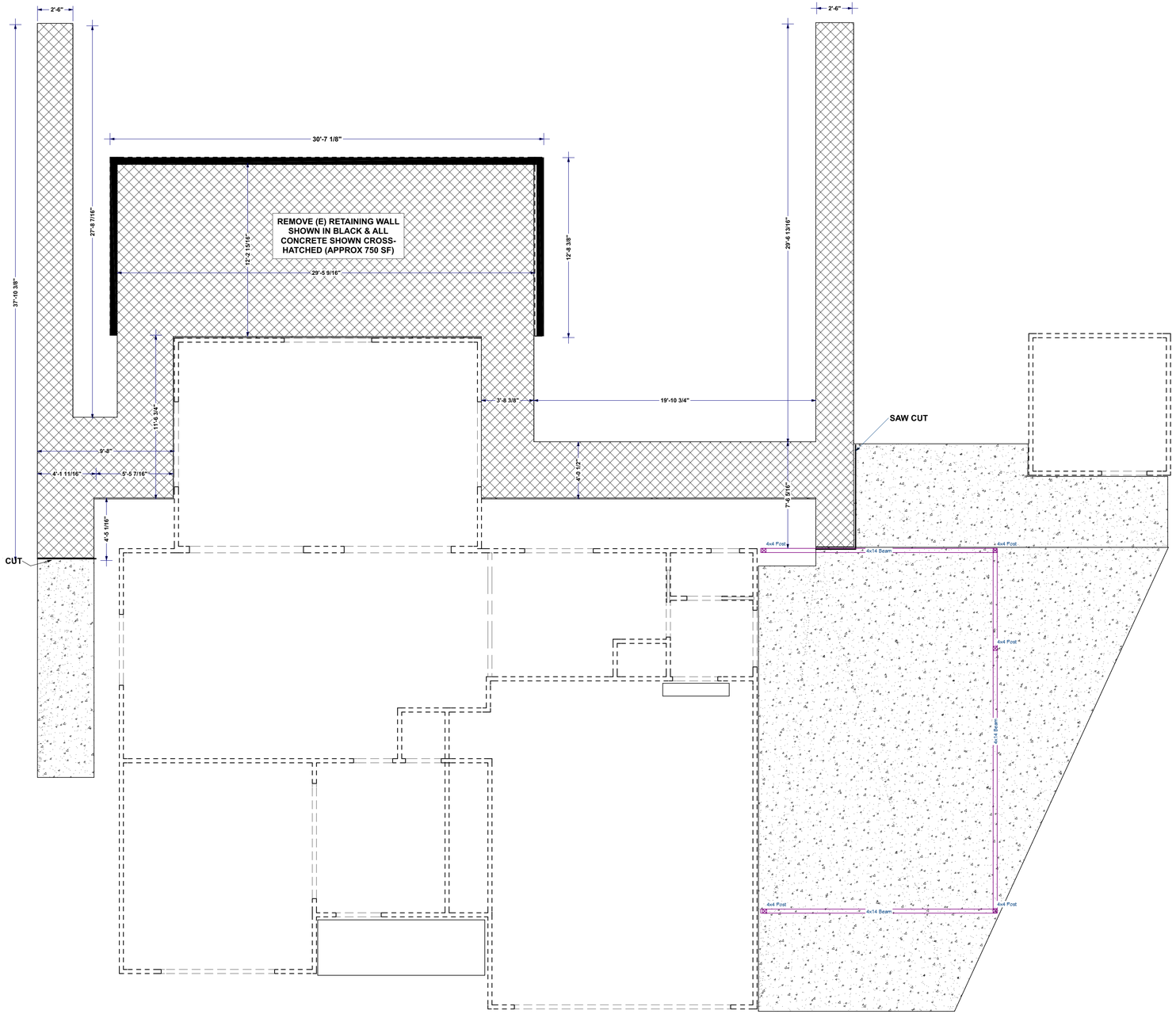
DEMOLITION - PROPER PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR DURING DEMOLITION TO ENSURE NO UNNECESSARY DAMAGE OCCURS TO THE SURROUNDING STRUCTURE, FIXTURES OR FURNITURE. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR. ALL DEMOLISHED MATERIAL SHALL BE PROPERLY DISPOSED OF, AND ANY ITEMS OF SIGNIFICANT VALUE SHALL BY RETAINED FOR REUSE OR SELL BY THE OWNER.

SECURITY - THE CONTRACTOR SHALL ENSURE THE EXISTING STRUCTURE IS ABLE TO BE SECURED DURING DEMOLITION AND CONSTRUCTION TO PREVENT TRESPASSING AND THEFT.

WEATHERPROOFING - THE CONTRACTOR WILL ENSURE STEPS ARE TAKING TO PROTECT THE EXISTING STRUCTURE FOR INCLEMENT WEATHER DURING DEMOLITION AND CONSTRUCTION.

MATERIALS - EVERY EFFORT WILL BE MADE TO MATCH THE NEW FINISH MATERIALS, FLOOR, SIDING, BRICK, STONE, ROOFING, TRIM, PAINT AND STAIN WITH THE EXISTING.

FOUNDATION - ALL NEW FOUNDATIONS WILL BE TIED INTO THE EXISTING FOUNDATION PER AN ENGINEER'S SPECIFICATIONS.



CONCRETE DEMOLITION PLAN

scale: 1/4" = 1'-0"

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Monte Carey
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CONCRETE DEMOLITION PLAN

SCALE
1/4" = 1"

REVISION DATE
NOVEMBER 18, 2021

DRAWN BY
MDC/CLC

SHEET #
A-1

CAL GREEN ELEMENTS THAT APPLY TO THIS SET OF PLANS

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.
Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
4.303.1.3 Showerheads.
4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.
Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets.
4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.
4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

Contractor
4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.
NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.
4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
NOTES:
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
1 Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2 Operation and maintenance instructions for the following:
1 Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
2 Roof and yard drainage, including gutters and downspouts.
3 Space conditioning systems, including condensers and air filters.
4 Landscape irrigation systems.
5 Water reuse systems.
3 Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4 Public transportation and/or carpool options available in the area.
5 Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6 Information about water-conserving landscape and irrigation design and controllers which conserve water.
7 Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8 Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9 Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
4.504 POLLUTANT CONTROL
Contractor 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.
4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.
4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:
1 Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
2 Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.
4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.
4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.
4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:
MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.
MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.
PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).
REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.
VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).
1. 2.
Manufacturer's product specification.
Field verification of on-site product containers.

SEE CALGREEN SHEET GG2 TABLES 4.504.1, 4.504.2, AND 4.504.3 FOR VOC LIMITS

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS.All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:
1 Carpet and Rug Institute's Green Label Plus Program.
2 California Department of Public Health,"Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3 NSF/ANSI 140 at the Gold level.
4 Scientific Certifications Systems Indoor AdvantageTM Gold.
4.504.3.1 Carpet cushion.All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
4.504.3.2 Carpet adhesive.All carpet adhesive shall meet the requirements of Table 4.504.1.
4.504.4 RESILIENT FLOORING SYSTEMS.Where resilient flooring is installed ,at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:
1 Products compliant with the California Department of Public Health,"Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, " Version 1.1,February 2010 (also known as Specification 01350),certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2 Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3 Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4 Meet the California Department of Public Health,"Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers",Version 1.1,February 2010 (also known as Specification 01350).
4.504.5 COMPOSITE WOOD PRODUCTS.Hardwood plywood,particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),by or before the dates specified in those sections,as shown in Table 4.504.5
4.504.5.1 Documentation.Verification of compliance with this section shall be provided as requested by the enforcing agency.Documentation shall include at least one of the following:
1 Product certifications and specifications.
2 Chain of custody certifications.
3 Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR,Title 17,Section 93120,et seq.).
4 Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association,the Australian AS/NZS 2269,European 636 3S standards,and Canadian CSA 0121,CSA 0151,CSA 0153 and CSA 0325 standards.
5 Other methods acceptable to the enforcing agency.
4.505 INTERIOR MOISTURE CONTROL
4.505.1 General.Buildings shall meet or exceed the provisions of the California Building Standards Code.
4.505.2 CONCRETE SLAB FOUNDATIONS.Concrete slab foundations required to have a vapor retarder by California Building Code,Chapter 19,or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code,Chapter 5,shall also comply with this section.
4.505.2.1 Capillary break.A capillary break shall be installed in compliance with at least one of the following:
1 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design,which will address bleeding,shrinkage,and curling, shall be used.For additional information,see American Concrete Institute,ACI 302.2R-06.
2 Other equivalent methods approved by the enforcing agency.
3 A slab design specified by a licensed design professional.
4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.Building materials with visible signs of water damage shall not be installed.Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content.Moisture content shall be verified in compliance with the following:
1 Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2 Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3 At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.
4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans.Each bathroom shall be mechanically ventilated and shall comply with the following:
1 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2 Unless functioning as a component of a whole house ventilation system,fans must be controlled by a humidity control.
1 Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%.A humidity control may utilize manual or automatic means of adjustment.
2 A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e,built-in)
Notes:
1 For the purposes of this section,a bathroom is a room which contains a bathtub,shower or tub/shower combination.
2 Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.
4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:
1 The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation),ASHRAE handbooks or other equivalent design software or methods.
2 Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),ASHRAE handbooks or other equivalent design software or methods.
3 Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection),or other equivalent design software or methods.
Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

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CALCERTS
COMPLIANCE ITEMS

SCALE
NO SCALE

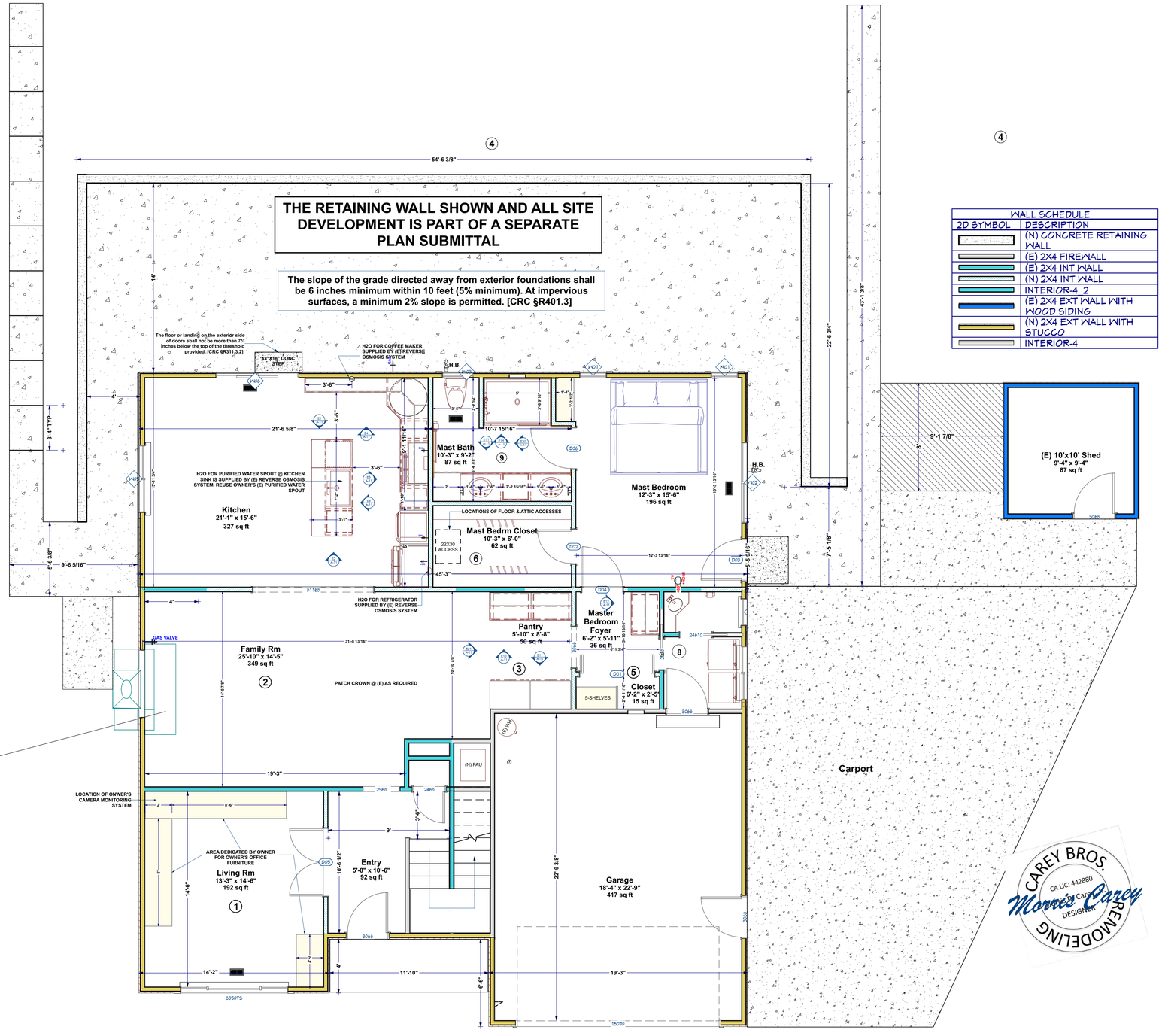
REVISION DATE
NOVEMBER 10, 2021

DRAWN BY
MDC/CLC

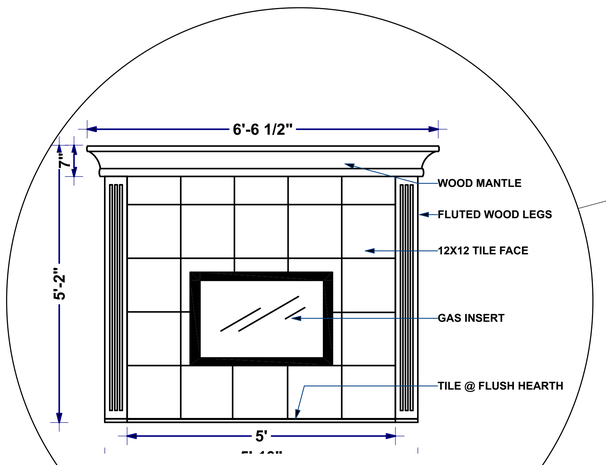
SHEET #
A-7A

ROOM BY ROOM NOTES:

#	TEXT
01	LIVING ROOM NOTES: RAISE FLOOR TO ENTRY LEVEL (6 1/2" +/-). REINSTALL OLD BASEBOARD. ADD ONE NEW 110V CIRCUIT WITH 5 RECEPTACLES. REFRAME WALL OPENING BETWEEN ENTRY AND LIVING ROOM AND ADD A PAIR OF 2668 FRENCH DOORS. ALL EXISTING WALL PLUGS TO BE RAISED TO 18" OC AFF. CAULK SEAL MUDSILL @ INTERIOR SIDE OF 2 EXTERIOR WALLS. EXTEND HEAT REGISTER WEST WALL OF LIVING ROOM TO EAST SIDE OF OF LIVING ROOM (OVER WINDOW WALL) IF JOIST ACCESS MAKES SUCH POSSIBLE.
02	FAMILY ROOM NOTES: ALL NEW RECESS LIGHTING. NEW DECORATIVE CEILING PADDLE FAN. NEW 110V FLOOR RECEPTICAL. NEW GAS INSERT INTO EXISTING FIREPLACE (SEE FINISH SCHEDULE). SUPPLY GAS AND ELECTRICAL FOR SAME. REMOVE TILE AT FIREPLACE FACE & HEARTH. REMOVE RAISED HEARTH. RETILE FACE AND HEARTH AND ADD WOOD MANTLE. ALL TO BE 60" WIDE. REPLACE FLOORING
03	PANTRY NOTES: ON WEST WALL ADD 6' OF BASE CABINET AND 6' OF UPPER CABINET. ON EAST WALL ADD 6' OF FULL HEIGHT CABINET. ADD TWO WALL PLUGS AT SOUTH WALL. ADD ONE SURFACE MOUNT CEILING FIXTURE WITH WALL SWITCH. REPLACE FLOORING
04	(E) GRADE BEHIND RETAINING WALL TO BE LOWERED APPROXIMATELY 6 TO 8". WALKS ADJACENT TO RETAINING WALL TO BE REMOVED.
05	BROOM CLOSET NOTES: REINSTALL OWNERS]'S REVERSE OSMOSIS WATER PURIFICATION SYSTEM ON WALL AND PIPE TO REFRIGERATOR, COFFEE MAKER AND KITCHEN SINK. INSTALL 5068 HINGE-FOLD DOORS WITH BULLET CATCHES AND TWO DUMMY KNOBS. DOORS TO BE PANELED IN ACCORDANCE WITH FINISH SCHEDULE. RIGHT SIDE OF CLOSET TO HAVE 5 FIXED SHELVES WITH END PANEL.
06	WALK-IN CLOSET NOTES: OWNER WILL SELECT A BUILT-IN SYSTEM FOR THIS CLOSET. LOCATE ATTIC & CRAWL ACCESS HOLES ONE ABOVE THE OTHER.
07	GARAGE: PROVIDE A (N) GAS FIRED FURNACE TO COMPLY WITH TITLE 24.
08	FOYER - LAUNDRY POWDER ROOM REPLACE POWDER ROOM WINDOW ADD EXHAUST FAN AND SWITCH IN POWDER ROOM REPLACE FLOORING IN FOYER, LAUNDRY AND POWDER ROOM
09	MASTER BATHROOM: TOILET TO HAVE BIDET SEAT SHOWER TO HAVE 12" X 23" HIGH NICHE @ 5'6" OC AFF USE ONE TOWEL RING AT EACH END OF VANITY
10	KITCHEN COFFEE MAKER WATER SUPPLY: USE 1/4" COPPER TUBING (UNDERFLOOR) FROM REVERSE OSMOSIS SUPPLY LINE BENEATH KITCHEN SINK TO COFFEE MAKER LOCATION. TUBING SHOULD EXIT WALL AT COFFEE MAKER LOCATION 2-INCHES ABOVE BACKSPLASH AND PROTRUDE FROM WALL 6" MINIMUM. CAP OFF THE PROTRUSION. OWNER TO S/I ALL LABOR AND MATERIAL NECESSARY TO CONNECT TUBING STUB-OUT TO COFFEE MAKER.



WALL SCHEDULE	
2D SYMBOL	DESCRIPTION
	(N) CONCRETE RETAINING WALL
	(E) 2X4 FIREWALL
	(E) 2X4 INT WALL
	(N) 2X4 INT WALL
	INTERIOR-4_2
	(E) 2X4 EXT WALL WITH WOOD SIDING
	(N) 2X4 EXT WALL WITH STUCCO
	INTERIOR-4



(N) FIREPLACE FACE & HEARTH

scale: 3/4" = 1'-0"

PROPOSED FLOOR PLAN

scale: 1/4" = 1'-0"

CAREY BROS. REMODELING
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2420 SAND CREEK RD. C-1318 BRENTWOOD, CA 94513
(925) 766-0189
CA LIC # B442880

LAWSON RESIDENCE
REMODEL & ADDITION
120 YELLOWOOD PL. PITTSBURG, CA 94565
(925) 597-1550

PROPOSED FLOOR PLAN

SCALE 1/4" = 1'

REVISION DATE NOVEMBER 16, 2021

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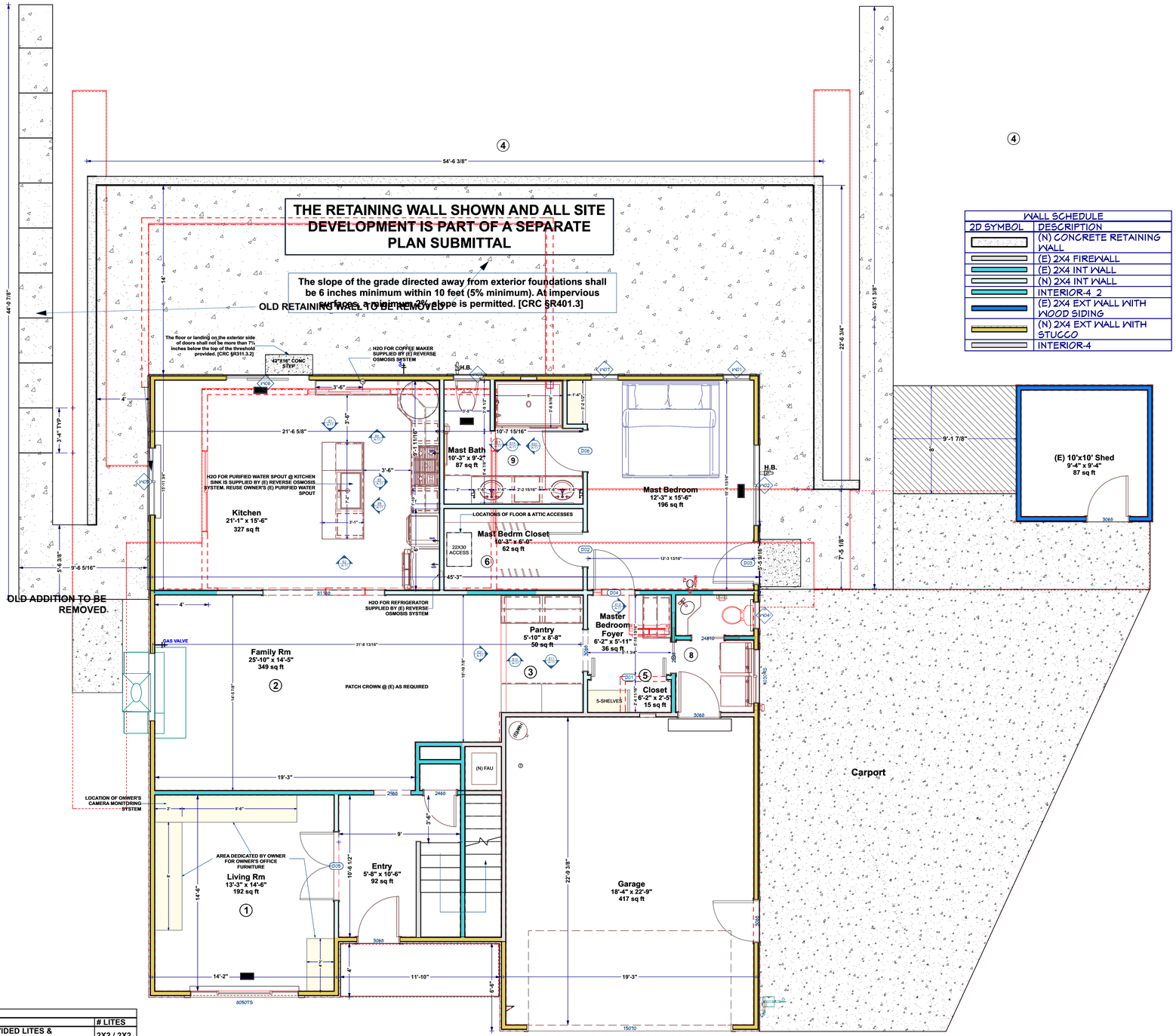
SHEET # A-8



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	INTERIOR-4

DOOR SCHEDULE:

LAWSON RESIDENCE DOOR SCHEDULE								
LOCATION	#	QTY	W	H	THICK	HEADER	R/O	LITES
MASTER BEDROOM FOYER/CLOSET	D01	1	66 "	80 "	1 3/8"	4X12X71"	68"X82 1/2"	
MAST BEDRM CLOSET/MAST BEDROOM	D02	1	30 "	80 "	1 3/8"	4X12X35 1/4"	32 1/4"X82"	
MAST BEDROOM	D03	1	36 "	80 "	1 3/4"	4X12X41 3/4"	38 3/4"X82"	2X4
MAST BEDROOM/MASTER BEDROOM FOYER	D04	1	36 "	80 "	1 3/8"	4X12X41 1/4"	38 1/4"X82"	
LIVING RM/ENTRY	D05	1	60 "	80 "	1 3/8"	4X12X65 1/4"	62 1/4"X82 1/2"	1
MAST BATH/MAST BEDROOM	D06	1	36 "	80 "	1 3/8"	4X12X41 1/4"	38 1/4"X82"	

WINDOW SCHEDULE:

LAWSON RESIDENCE WINDOW SCHEDULE								
ROOM	#	QTY	LABEL	OPENING DATA	HEADER	TEMP	EGRS	DESCRIPTION	# LITES
MAST BEDROOM	W01	1	2050SH	24"X60" HH: 80" XO: 20"	4X12X27"			WHITE VINYL FRAME WITH DIVIDED LITES & INSULATED GLASS - CLEAR	2X2 / 2X2
MAST BEDROOM	W02	1	6036RS	72"X42" HH: 80" XO: 38"	4X12X75"	YES	YES	WHITE VINYL FRAME WITH DIVIDED LITES & INSULATED GLASS - CLEAR	3X2 / 3X2
MAST BATH	W03	1	2030SH	24"X36" HH: 80" XO: 44"	4X12X27"			WHITE VINYL FRAME WITH INSULATED GLASS - OBSCURE	1 / 1
1/2 BATH	W04	1	2030SH	24"X36" HH: 80" XO: 44"	4X12X27"			WHITE VINYL FRAME WITH INSULATED GLASS - OBSCURE	1 / 1
KITCHEN	W05	1	5040RS	60"X48" HH: 80" XO: 32"	4X12X63"			WHITE VINYL FRAME WITH DIVIDED LITES & INSULATED GLASS - CLEAR	2X2 / 2X2
KITCHEN	W06	1	6068	72"X80" HH: 80" XO: 0"	4X12X75"	YES	YES	WHITE VINYL FRAME WITH DIVIDED LITES & INSULATED GLASS - CLEAR	3X5
MAST BEDROOM	W07	1	2050SH	24"X60" HH: 80" XO: 20"	4X12X27"			WHITE VINYL FRAME WITH DIVIDED LITES & INSULATED GLASS - CLEAR	2X2 / 2X2

(E) & (N) FLOOR PLANS OVERLAID

scale: 1/4" = 1'-0"

CAREY BROS. REMODELING
CA LIC: 442880
Morris Carey
DESIGNER

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(E) & (N) FLOOR PLANS OVERLAID

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A-9

ELECTRICAL NOTES:

NEW 120-VOLT, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT: KITCHENS, BATHROOMS, LAUNDRY ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE.

RECEPTACLES SERVING KITCHEN COUNTER TOPS, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND EXTERIOR RECEPTACLES MUST BE GFCI PROTECTED.

KITCHEN SHALL BE PROVIDED WITH AT LEAST TWO DEDICATED 20-AMP SMALL APPLIANCE BRANCH CIRCUITS. ALL NEW KITCHEN OUTLETS, RATED UP TO 120-VOLTS, SHALL HAVE BOTH GFCI AND AFCI PROTECTION.

NEW RECEPTACLES SERVING BATHROOM(S) SHALL BE 20-AMPS. OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED FROM THE SAME 20-AMP BRANCH CIRCUIT WHEN THAT CIRCUIT SUPPLIES A SINGLE BATHROOM. AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 3 FEET OF THE EDGE AND ADJACENT TO EACH BASIN LOCATION AND SHALL BE GFCI PROTECTED. THE OUTLET SHALL NOT BE INSTALLED IN A FACE-UP POSITION.

ALL OTHER NEW RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6-FEET FROM A RECEPTACLE OUTLET, AND SHALL BE PLACED NOT LESS THAN 18" OC AFF. UNLESS SPECIFICALLY NOTED OTHERWISE. NO RECEPTACLES ARE PERMITTED IN A BATHTUB OR SHOWER SPACE.
ALL 15-AMP AND 20-AMP RECEPTACLES SHALL BE TAMPER-RESISTANT.

LIGHTING SHALL BE HIGH EFFICACY (FLUORESCENT, LED). THE LED LIGHTING SYSTEM AND GU-24 LAMP HOLDER SHALL BE LISTED BY THE ENERGY COMMISSION AND SHALL MEET THE REQUIREMENTS OF TABLE 150-C.

NEWLY INSTALLED LIGHTING SHALL BE HIGH-EFFICACY, REGARDLESS OF CONTROL TYPE.

LAUNDRY & GARAGE LIGHTING SHALL HAVE AT LEAST ONE LUMINAIRE CONTROLLED BY A VACANCY SENSOR OR A MANUAL-ON OCCUPANCY SENSOR.

RECESSED LIGHT FIXTURES @ CEILINGS SHALL BE IC RATED.

LIGHTING OVER A SHOWER OR BATHTUB ENCLOSED BY WALLS AND/OR AN ENCLOSURE SHALL BE MARKED "SUITABLE FOR WET LOCATIONS." ALL LIGHTING OVER A BATHTUB OR SHOWER WITH NO ENCLOSURE SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS."

NEW OUTDOOR LIGHTING (IF ANY) IS TO BE HIGH-EFFICACY, TO BE CONTROLLED BY AN ON/OFF SWITCH, AND INCLUDE ONE OF THE FOLLOWING: A) PHOTOCELL AND MOTION SENSOR, B) PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, C) ASTRONOMICAL TIME CLOCK CONTROL, D) ENERGY MANAGEMENT CONTROL SYSTEM.

NEW BATHROOM LIGHTING (IF ANY) SHALL BE HIGH-EFFICACY AND AT LEAST ONE NEW LUMINAIRE SHALL BE CONTROLLED BY A OCCUPANT/ VACANCY SENSOR PROVIDING AUTOMATIC-OF FUNCTIONALITY.

SMOKE ALARMS SHALL BE INSTALLED IN ALL BEDROOMS AND CENTRALLY LOCATED IN ALL AREAS LEADING TO BEDROOMS, PLUS ONE AT EACH STORY INCLUDING BASEMENT(S).

CO ALARMS ARE REQUIRED IN AREAS LEADING TO BEDROOMS AND ON EACH FLOOR LEVEL.

SMOKE & CO ALARMS SHALL EACH BE HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE ALARMS AND COMBINATION SMOKE/CO ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS.

KITCHEN EXHAUST FAN SHALL BE RATED FOR A MINIMUM 100 CFM OF INTERMITTENT VENTILATION OR A MINIMUM OF 5 AIR CHANGES PER HOUR OF CONTINUOUS VENTILATION.

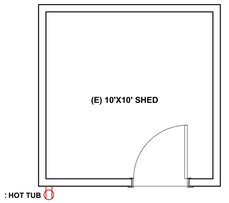
ELECTRICAL LEGEND:

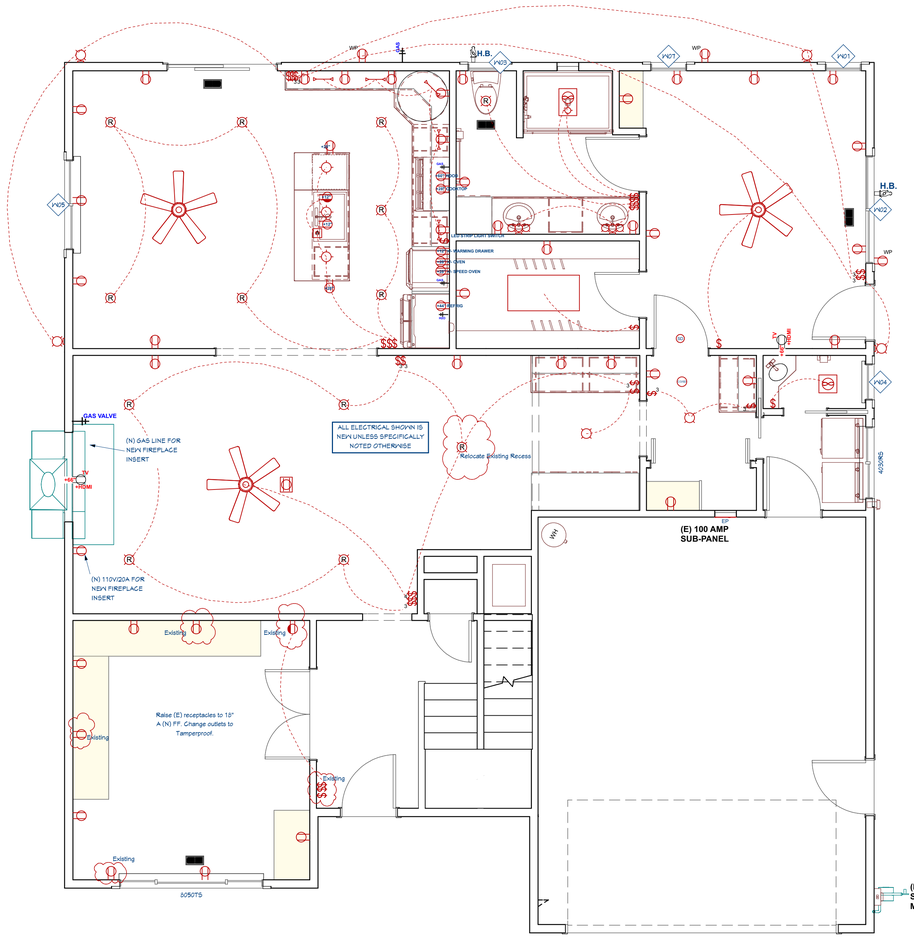
2D	Qty	Attached To	Description
—	5	Cabinet	LED Undercounter Lights
	2	Cabinet	110V/20A GFCI Receptacle @ Island
	3	Ceiling	Switched SM Ceil Light Location for Pendant Light Fixture
	1	Ceiling	Hard-wired, Interconnected CO/Smoke Detector
	2	Ceiling	SM Ceil Fixture Locations - Bedroom Foyer & Pantry
	1	Ceiling	Low Sone, 110V/.3A DC Exhaust Fan. @ Powder Room
	1	Ceiling	SM Ceiling Fixture Location with 18"x36" LED Cloud - Master Closet
	3	Ceiling	Decorative Ceiling Paddle Fan w/built in Remote Control. If lighted use LED fixture only. Family Room, Dining Room & Mast Bedroom
	12	Ceiling	6" Recess Ceiling Lights: 4 @ Dining Room. 3 @ Kitchen, 6 @ Family Room, 1 @ Master Bathroom.
	1	Ceiling	Hard-wired, Interconnected Smoke Detector @ Master Bedroom
	1	Cabinet	Air Switch for Disposal at Kitchen Sink
	1	Floor	110V/15A Dedicated Floor Receptical @ center of Family Room
	3	Wall	110V/20A GFCI Receptacle with Waterproof Enclosure outside walls of Addition
	1	Wall	220V/30A Direct Connect Location for (N) Oven
	10	Wall	600W 3-Way Wall Switch
	1	Wall	600W 4-Way Wall Switch
	31	Wall	110V/20 AFCI Tamper Proof Recepticals @ 18" OC AFF in (N) locations and @ raise (E) recepticals to 18" OC AFF and use (N) TP receptacles.
	15	Wall	110V/20A GFCI, TAMPER PROOF, OUTLET IN KITCHEN & MASTER BATH
	4	Wall	110/15A SM Wall Fixture Locations @ 3 Exterior Walls to be placed @ 6'-6" above patio floor.
	2	Wall	2 - SM Wall Light Fixture Locations @ Master Vanity
	12	Wall	600W 1-Pole Wall Switch
	1	Wall	(N) SWITCH FOR BATHFAN AT POWDER ROOM
	4	Wall	(N) 600W 1-Pole Wall Switch
	1	Wall	(N) 110v/20a Dedicated GFI receptical at (E) shed
	1	Wall	110V/20A DEDICATED CIRCUIT FOR WARMING DRAWER
	1	Wall	220V/30A DEDICATED CIRCUIT FOR SPEED OVEN
	1	Ceiling	(E) 6" Recess Ceiling Light to be moved to center.
	1	Wall	Electrical Panel
	1	Ceiling	Low Sone, 110V/.3A DC Exhaust Fan-Lite @ Master Bathroom
	1	Wall	110V/20 AFCI Tamper Proof Dedocated Receptical @ 18" +/- OC AFF for heated towel bar.

EARTHQUAKE SHUT-OFF:

PROVIDE A "GAS SHUT-OFF" VALVE AS REQUIRED BY PITTSBURG MUNICIPAL CODE 15.34.020. THE VALVE SHALL BE LOCATED TO PROTECT THE ENTIRE BUILDING.

CAREY BROS. REMODELING
CA LIC: 442880
Marcie Carey
DESIGNER





ELECTRICAL PLAN

scale: 1/4" = 1'-0"

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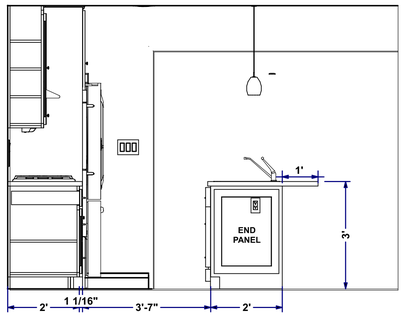
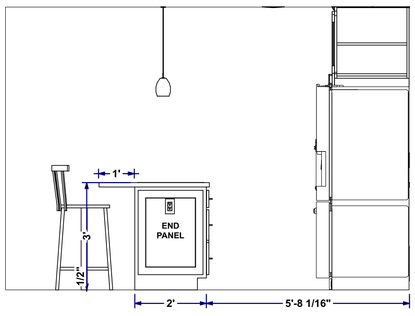


KITCHEN ELEVATION 1

scale: 1/2" = 1'-0"



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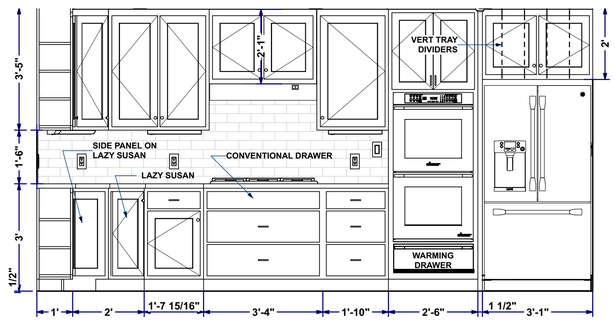
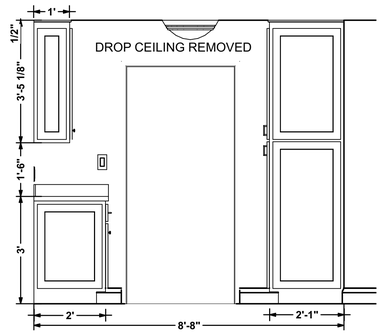
scale: 1/2" = 1'-0"



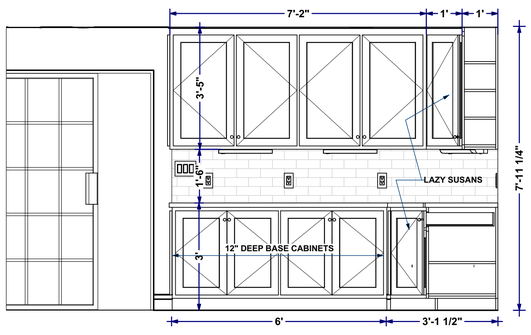
KITCHEN ELEVATION 3

scale: 1/2" = 1'-0"



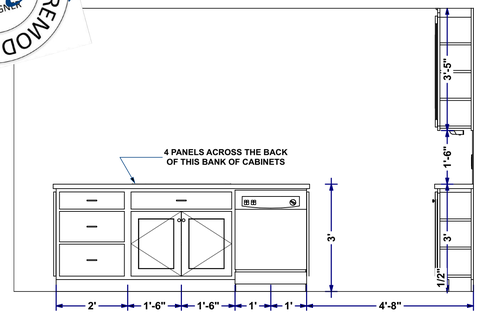
PANTRY ELEVATION 21

scale: 1/2" = 1'-0"



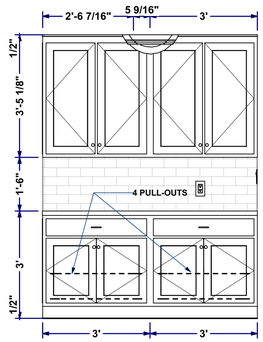
KITCHEN ELEVATION 4

scale: 1/2" = 1'-0"



KITCHEN ELEVATION 5

scale: 1/2" = 1'-0"



PANTRY ELEVATION 10

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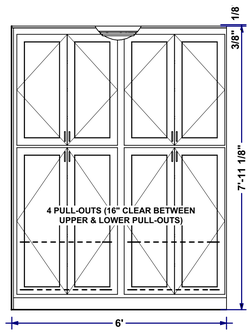
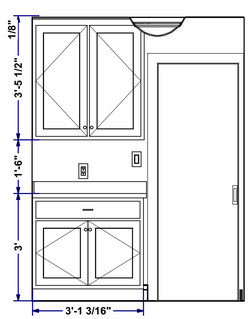


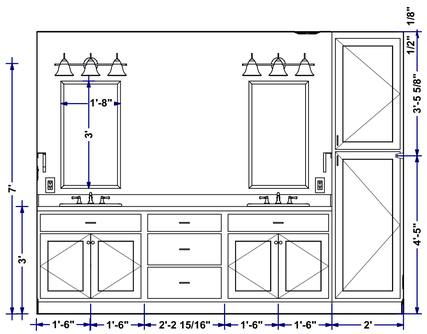
PANTRY ELEVATION 11

scale: 1/2" = 1'-0"



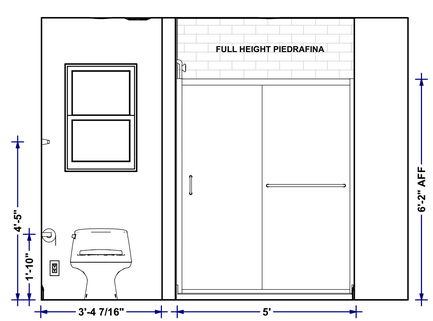
FOYER ELEVATION 12

scale: 1/2" = 1'-0"



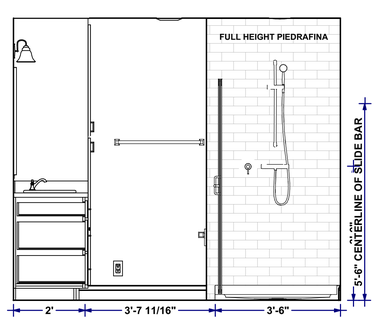
MASTER BATH ELEVATION 17

scale: 1/2" = 1'-0"



MASTER BATH ELEVATION 19

scale: 1/2" = 1'-0"



MASTER BATH ELEVATION 20

scale: 1/2" = 1'-0"

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INTERIOR ELEVATIONS

SCALE
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REAR EXTERIOR ELEVATION

SCALE
1/4" = 1'

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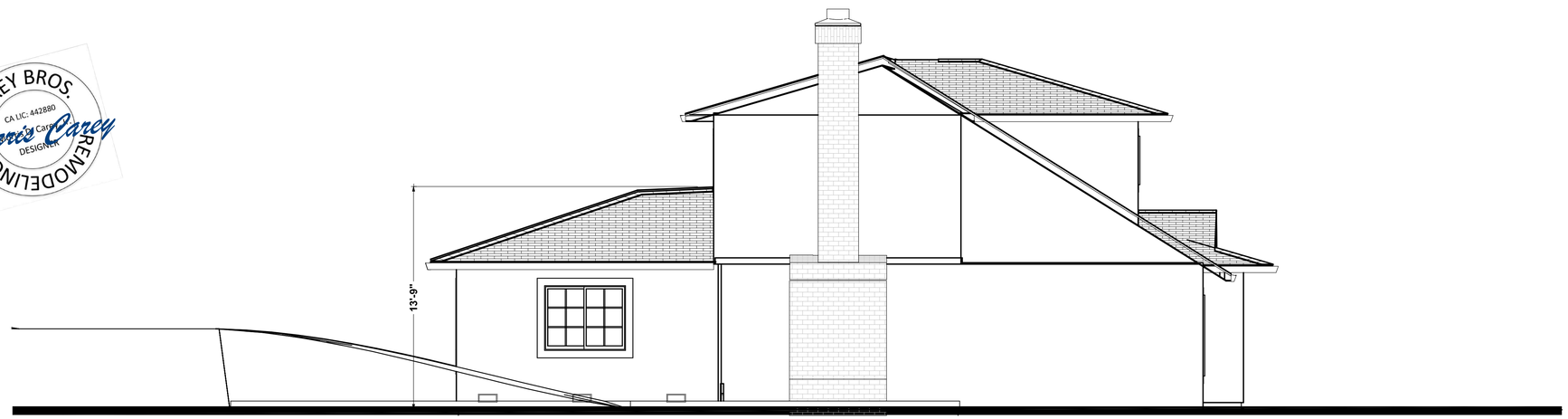
CAREY BROS. REMODELING
CA LIC: 442880
Monica Carey
DESIGNER

REAR ELEVATION

scale: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

scale: 1/4" = 1'-0"



LEFT SIDE ELEVATION

scale: 1/4" = 1'-0"

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Morris Carey
DESIGNER

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LEFT/RIGHT EXTERIOR ELEVATIONS

SCALE
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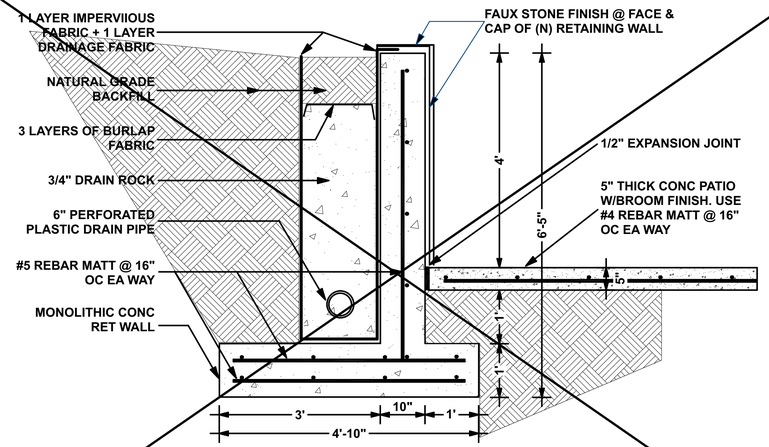
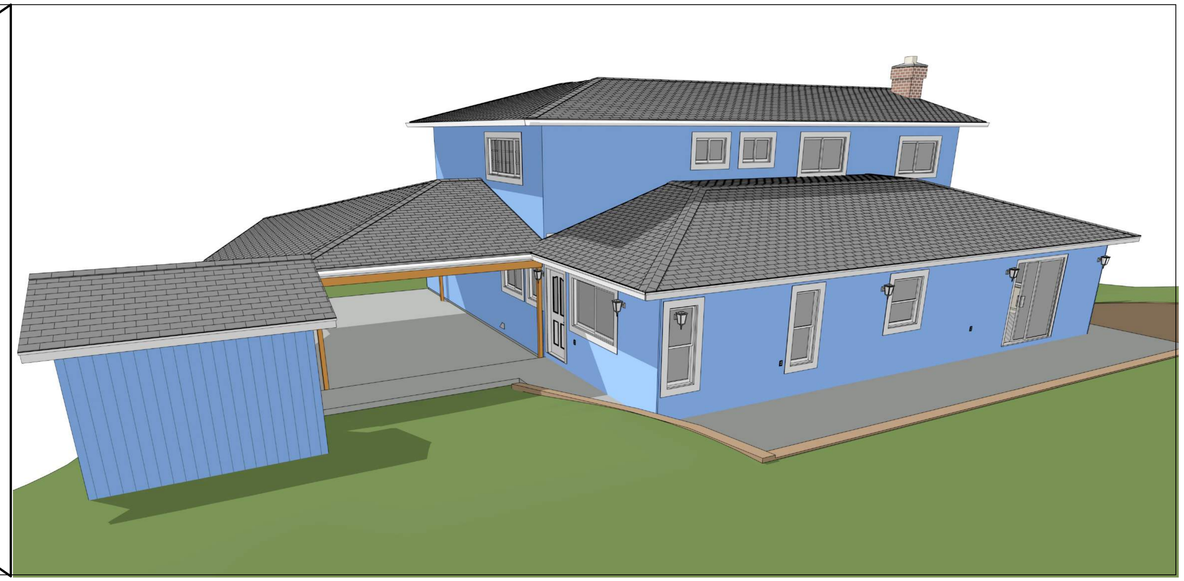
A-13

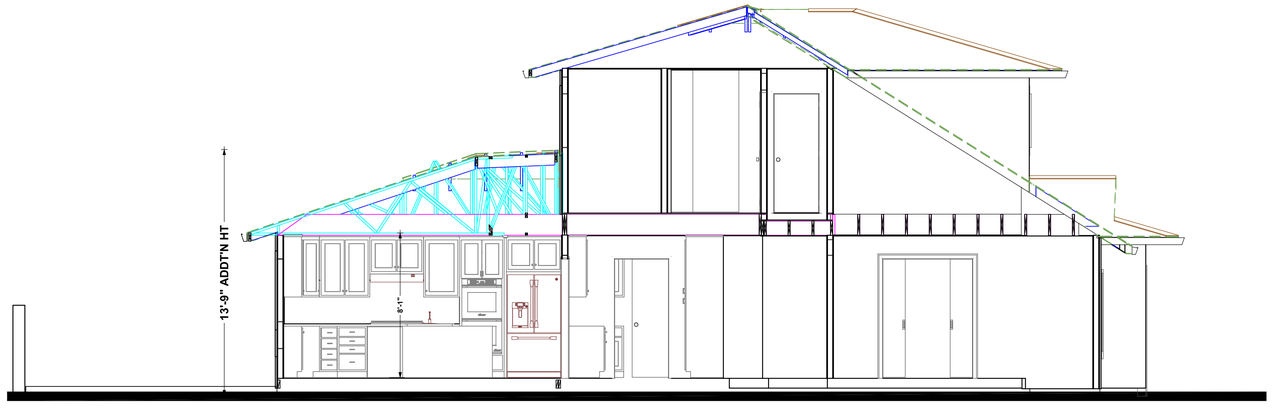
A SEPARATE PERMIT HAS BEEN ISSUED FOR THIS RETAINING WALL AND IT IS NO LONGER A PART OF OUR PROJECT



(N) RETAINING WALL

scale: 3/4" = 1'-0"





BUILDING SECTION

scale: 1/4" = 1'-0"

CAREY BROS. REMODELING
CA LIC: 442880
Morris Carey
DESIGNER

CAREY BROS.. REMODELING
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BUILDING & RETAINING WALL SECTION

SCALE
VARIES

REVISION DATE
NOVEMBER 10, 2021

DRAWN BY
MDC/CLC

SHEET #
A-14

FOUNDATION NOTES:

LOCATION - THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE EXACT POSITION ℄ LOCATION OF THE HOME PRIOR TO ANY CONSTRUCTION AND STAKING.

EXCAVATION - ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND BELOW THE LOCAL FROST LINE. THE FOUNDATION ELEVATION LEVEL TO BE ABOVE THE FLOOD PLAIN AS REQUIRED BY CODE.

BACKFILL - ALL BACKFILL UNDER AND WITHIN 5 FEET OF ALL BUILDINGS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY BACKFILL DIRECTLY UNDER FOOTINGS AND WITHIN 2 FEET OF EACH SIDE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY.

DRAINAGE - THE GENERAL CONTRACTOR WILL ENSURE THAT THE FINISHED GRADE SLOPES AWAY FROM THE STRUCTURE SUFFICIENTLY TO PREVENT WATER STANDING OR FLOWING INTO THE STRUCTURE OR ADJACENT PROPERTY. DRAINAGE SHALL BE PROPERLY TRANSFERRED INTO THE EXISTING LOT SURFACE WATER DRAINING SYSTEM. ANY AREA DIRECTLY IMPACTED BY THE ADDITION SHALL BE MODIFIED TO RESTORE EXISTING SURFACE WATER DRAINAGE.

CONCRETE - ALL CONCRETE WILL BE OF A CONSISTENT MIX TO THE RECOMMENDATION OF THE MANUFACTURER FOR THE SOIL TYPE AND SITE CONDITIONS. REINFORCED STEEL WILL BE USED AS REQUIRED BY CODE AND STANDARD BUILDING PRACTICES.

ANCHOR BOLTS - ANCHOR BOLTS SHALL BE PLACED IN THE FOUNDATION SLAB DURING THE POUR AT LEAST 7" DEEP SPACED NO LESS THAN 6 FEET APART OR 1 FOOT FROM ANY CORNER.

SOIL TESTING - NO SOIL TESTING HAS BEEN CONDUCTED ON THE SITE, AND FAILURE TO CONDUCT SUCH TESTS BEFORE CONSTRUCTION WILL BE AT THE SOLE RISK OF THE HOMEOWNER. IF ANY UNSTABLE OR COLLAPSIBLE OR OTHERWISE POOR SOIL CONDITIONS ARE DISCOVERED DURING EXCAVATION, A SOILS ENGINEER SHOULD BE NOTIFIED IMMEDIATELY FOR A SOILS STUDY AT THE OWNER'S EXPENSE.

ENGINEERING - THIS FOUNDATION PLAN WAS NOT PREPARED BY A LICENSED ENGINEER. DESIGNER'S INK HIGHLY RECOMMENDS AN ENGINEER BE CONSULTED PRIOR TO CONSTRUCTION WHO WILL TAKE INTO ACCOUNT THE RESULTS OF SOIL TESTING AND ANY LOAD CONSIDERATIONS. A QUALIFIED PROFESSIONAL ENGINEER SHALL SPECIFY ALL FOUNDATION WALLS, SLABS, FOOTINGS, SUPPORT BEAMS, AND WEB TRUSSES AND SUPERCEDES ALL NOTES LISTED ON THE PLAN.

CONCRETE NOTES:

LOCATION	COMPREHENSIVE STRENGTH @ 28 DAYS	MAX. AGGREGATE	SLUMP
SLABS ON GRADE	2500 PSI	3/4"	3"
FOOTINGS	2500 PSI	1 1/2"	4"

REINFORCING STEEL SHALL BE GRADE 40, MEETING ASTM A-615. CLEARANCES OF REINFORCING STEEL TO EARTH, WEATHER OR FORMED SURFACES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE CRC, CBC.

SILL PLATES BEARING ON CONCRETE SHALL BE FOUNDATION GRADE REDWOOD OR PRESSURE-TREATED FIR.

Know what's below.
Call 811 before you dig.

EROSION CONTROL NOTES:

INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.

ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.

HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.

DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

FOUNDATION VENTILATION CALCULATION:

FOUDATION AREA:	720 SF
VENTILATION REQUIRED:	4.8 SF
AREA OF 6X14 VENT:	.48 SF
VENTS REQUIRED: (4.8/.48)+5 REMOVED	15 EA
USE 3 VENTS AT EACH END WALL	
USE 10 VENTS AT BACK WALL	
TOTAL VENTS TO BE USED	16 EA
VENTING OK	

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FOUNDATION PLAN

SCALE
1/4" = 1'

REVISION DATE
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MDC/CLC

SHEET #
A-15

NAILING NOTES:

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8D
BRIDGING TO JOIST	TOE NAIL EA. END (2)-8D
SOLE PLATE TO JOIST OR BLK'G	FACE NAIL 16D @ 16" OC
STUD TO SOLE PLATE	TOE NAIL (4)-8D, END NAIL (2)-16D
TOP PLATE TO STUD	END NAIL (2)-16D
DOUBLE STUDS	FACE NAIL 16D @ 24" OC
DOUBLE TOP PLATES	FACE NAIL 16D @ 16" OC
CONTINUOUS HEADER, TWO PIECES W/ ½" SPACER	16D @ 16" OC ALONG EACH EDGE
TOP PLATES, LAPS & INTERSECTIONS	FACE NAIL (2)-16D
CEILING JOIST TO PLATE	TOE NAIL (3)-8D
CONTINUOUS HEADER TO STUD	FACE NAIL (5)-16D
CEILING JOIST, LAPS OVER PARTITIONS	FACE NAIL (3)-10D
CEILING JOIST TO PARALLEL RAFTERS	FACE NAIL (3)-10D
RAFTER TO PLATE	TOE NAIL (2)-16D
1" BRACE TO EACH STUD & PLATE	FACE NAIL (2)-8D
BUILT-UP CORNER STUDS	10D @ 24" OC
2" PLANKS	(2)-16D @ EA.BRG.
5/8" PLYWOOD ROOF AND WALL SHEATHING	EDGES 8D @ 6" OC INTERMEDIATE 8D @ 12" OC
1 1/8" PLYWOOD SUBFLOOR	EDGES 10D @ 6" OC INTERMEDIATE 10D @ 12" OC
2X MULTIPLE JOIST – STAGGER @ 15" OC W/(2) @ EA. END OR SPLICE	
(3) OR FEWER	16D NAILS
(4) OR MORE	1/2" DIA M.B. W/ STD NUT AND WASHERS

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HANDRAILS MAY ENCROACH A MAX. OF 3 1/2 " INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. DEPTH OF 10" WITH A 1" OVERHANG. STAIR TREADS MUST BE UNIFORM AND CANNOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED AT 34" TO 38" ABOVE THE NOSING OF THE TREADS AND LANDINGS. STAIRWAYS 42" OR WIDER SHALL HAVE TWO HANDRAILS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 ½" WIDE, OR GREATER THAN 2" WIDE IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO A WALL OR NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HANDRAIL

42" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAY AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIMETER SPHERE TO PASS THOUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

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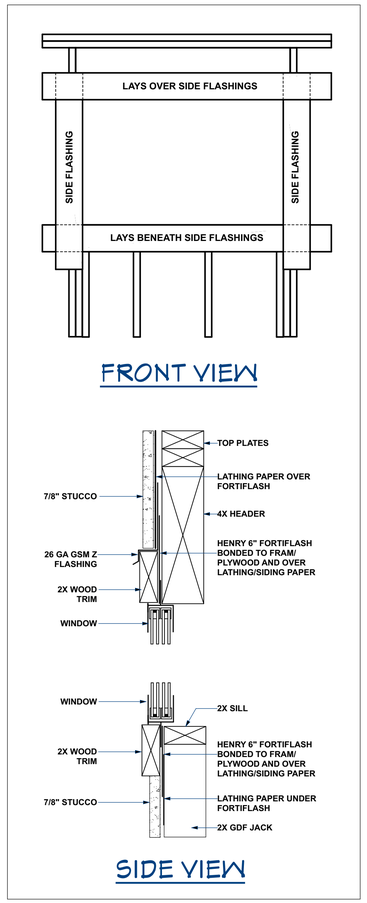
Morris Carey
DESIGNER

MOISTURE CONTENT IN WOOD

WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN ITS MOISTURE CONTNET EXCEEDS 19%.

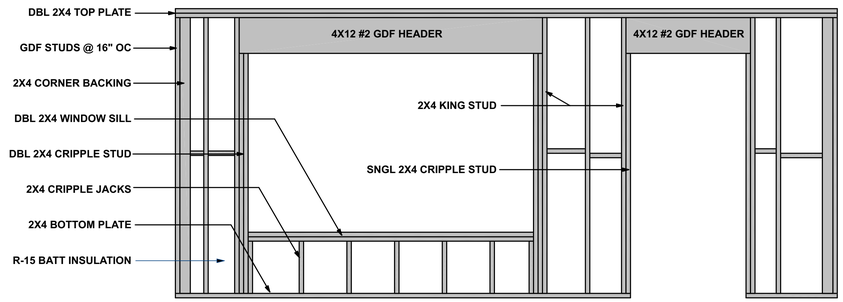


FRONT VIEW

SIDE VIEW

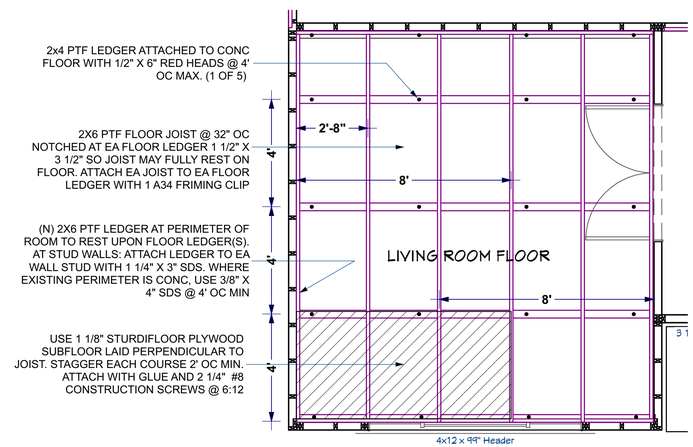
WINDOW FLASHING DETAILS

no scale



TYP FRAMING SECTION

scale: 1/2" = 1'-0"



FURR UP LIVING ROOM FLOOR

scale: 3/8" = 1'-0"

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WALL FRAMING PLAN

SCALE
VARIES

REVISION DATE
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DRAWN BY
MDC/CLC

SHEET #
A-16

ROOF NOTES:

MATERIALS - THE OWNER WILL SELECT THE ROOFING MATERIALS USED INCLUDING STYLE AND COLOR.

GUTTERS - DOWNSPOUTS - GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. THE STYLE AND COLOR WILL BE CHOSEN BY THE OWNER. THE DOWNSPOUTS LOCATIONS WILL BE DETERMINED ON SITE BY THE GENERAL CONTRACTOR TO WORK WITHIN THE OVERALL SITE DRAINAGE SYSTEM DEVELOPED FOR THE SITE.

SHEATHING - ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

VENTILATION - ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQUARE FOOT PER 150 SQUARE FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENING SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. IF SPRAY FOAM IS USED IN THE ATTIC SPACE, VENTILATION AND ANTI-CONDENSATIONS MEASURES WILL BE TAKEN PER THE MANUFACTURER'S SPECIFICATIONS.

ICE BARRIER - ROOFING REQUIRES AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

METAL ROOFING - METAL ROOFING SHALL BE APPLIED TO SOLID SHEATHING. METAL ROOFING OVER STRUCTURAL DECKING SHALL COMPLY WITH TABLE IRC R905.10.3. THE MINIMUM SLOPE FOR STANDING SEAM METAL ROOFING SYSTEMS IS PER IRC R905.10.2. INSTALL IN ACCORDANCE WITH IRC R905.

SLOPE - THE ROOFING CONTRACTOR WILL INSTALL ROOFING MATERIAL PER MANUFACTURER'S SPECIFICATIONS AND USE ONLY MATERIALS ALLOWED FOR THE SPECIFIED SLOPE.

FLASHING - CORROSION-RESISTANT METAL OF .019 INCH NOMINAL THICKNESS OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 77 LBS. OVER 100 SQ. FT. SHALL BE USED AS REQUIRED. VALLEY LINING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING ROOFING MATERIAL FOLLOWING IRC R905.2.8.2.

ENGINEERING - ROOF STRUCTURES SHALL BE SPECIFIED AND ENGINEERED BY THE TRUSS MANUFACTURER.

ROOF DATA:

MATERIALS:

ASPHALT SHINGLE ROOF

ROOF OVERHANG - 1'-6"

RIDGE VENTS WHERE APPLICABLE. GUTTER AND DOWNSPOUTS AS REQUIRED (TYP.)

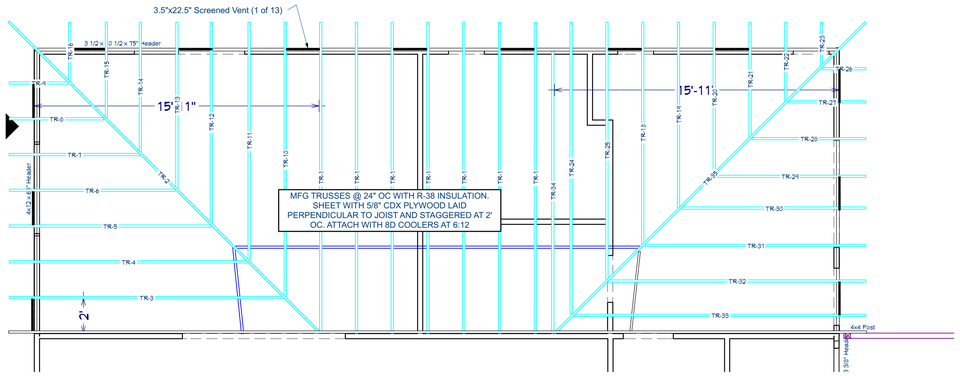
ROOF & INSULATION DATA:

MATERIALS:

USE COMPOSITION SHINGLE ROOF OVER 5/8" PLYWOOD.SHEETING
PROVIDE RADIANT BARRIER AT ROOF
USE R-38 BATT INSULATION AT ADDITION ATTIC
USE R-15 BATT INSULATION AT ALL EXTERIOR WALLS
USE R-19 BATT INSULATION AT NEW RAISED FLOOR

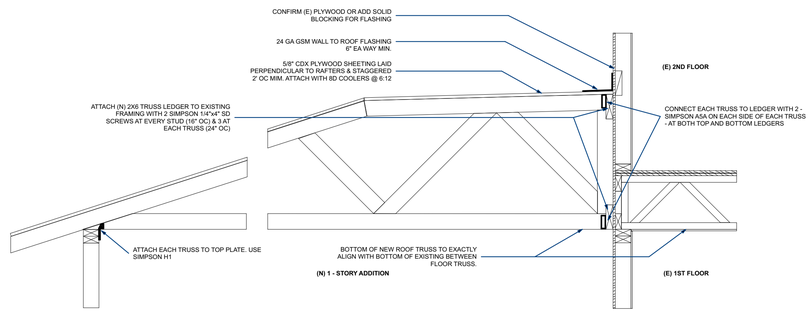
ROOF VENTILATION CALC:

ATTIC AREA:	720 SF
VENTILATION REQUIRED 1/150TH	4.8 SF
AREA OF 3.5X22.5" VENTS:	.46 SF
NUMBER OF VENTS REQUIRED: (4.8/.46)	11 EA
*NUMBER OF VENTS USED:	13 EA
	VENTING OK



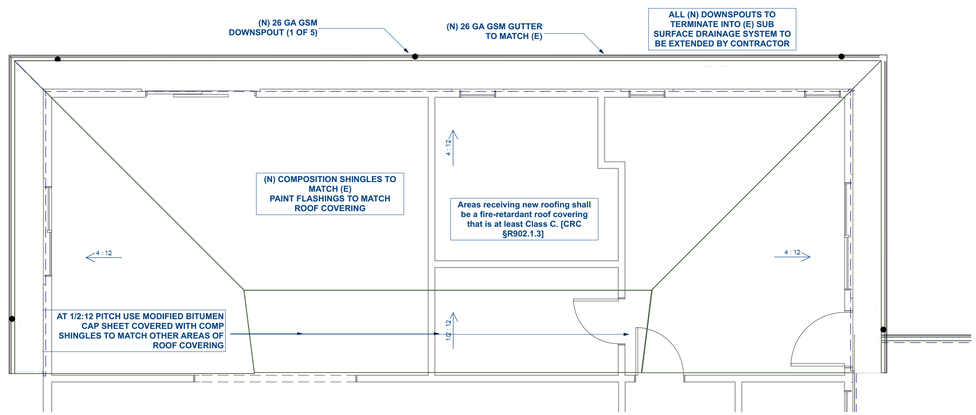
ROOF FRAMING PLAN

scale: 1/4" = 1'-0"



TYP ROOF FRAMING DETAIL

scale: 3/4" = 1'-0"



ROOF PLAN

scale: 1/4" = 1'-0"

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ROOF & ROOF FRAMING PLAN

SCALE
1/4" = 1'

REVISION DATE
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DRAWN BY
MDC/CLC

SHEET #
A-17

ROOFING, GUTTERS & DOWNSPOUTS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ADDITION	MATCH EXISITNG COMPOSITION ROOFING AS CLOSELY AS POSSIBLE			GAF TIGER PAW UNDERLAYMENT 4:12 PITCH
ADDITION	AT 1/2:12 PITCH USE MODIFIED BITUMENT			
GUTTERS	MATCH EXISITNG AT RESIDENCE		MATCH EXISITNG	HTTPS://WWW.BING.COM/ISEARCH?Q=GALVALUME+GUTTER+COLORS&FORM=APMCS1&PC=APMC
DOWNSPOUTS	SHINGLES TO MATCH OTHER AREAS OF	2X3	MATCH EXISITNG	
ROOF FLASHING				

STUCCO

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ADDITION AND PATCHING	MATCH EXISITNG STUCCO FINISH AS CLOSELEY AS POSSIBLE			

WINDOWS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
SEE PLAN - SHEET A1				

DOORS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
SEE PLAN - SHEET A1				

DOOR HARDWARE & BUMPERS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
MASTER BEDROOM FOYER /CLOSET	TBS	2 - PULLS	POLISHED BRASS	HINGE MOUNT DOOR STOP DELTANA #HP10 POLISHED BRASS
MASTER BEDROOM ENTRY	SCHLAGE ACCENT F40 ACC 619	PRIVACY	POLISHED BRASS	HINGE MOUNT DOOR STOP DELTANA #HP10 POLISHED BRASS
MASTER BEDROOM CLOSET	SCHLAGE ACCENT F10 ACC 619	PASSAGE	POLISHED BRASS	HINGE MOUNT DOOR STOP DELTANA #HP10 POLISHED BRASS
MASTER BATHROOM	SCHLAGE ACCENT F40 ACC 619	PRIVACY	POLISHED BRASS	HINGE MOUNT DOOR STOP DELTANA #HP10 POLISHED BRASS
MASTER BEDROOM EXTERIOR DOOR	SCHLAGE ACCENT F10 ACC 619 SCHLAGE DEADBOLT B60 505	PASSAGE KEYED DEADBOLT	POLISHED BRASS	HINGE MOUNT DOOR STOP DELTANA #HP10 POLISHED BRASS
LIVING ROOM ENTRY POCKET DOORS	TBS	RECESSED POCKET DOOR SET	POLISHED BRASS	

MILLWORK

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ALL DOORS	KELLEHER MDF 258A	5/16 X 2-1/4 BEVEL CASING, MDF258A	PRIMED PAINT GRADE	
ALL BASEBOARDS	KELLEHER BASEBOARD P222PR	5/16" X 4 1/4" FJ PINE PRIMED	PRIMED PAINT GRADE	
CROWN MOULDING - KITCHEN PATCHES	MATCH EXISITNG		PRIMED PAINT GRADE	

DRYWALL

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ALL WALLS & CEILINGS	SHEETROCK WITH DRYWALL JOINT COMPOUND	USE 1/2" DRYWALL	MATCH EXISITNG AS CLOSELY AS POSSIBLE	PAINT ALL

ELECTRICAL FINISH

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ALL AREAS - SINGLE POLE LIGHT SWITCHES	LEVITON DECORA	600V	WHITE	
ALL AREAS - 3-WAY LIGHT SWITCHES	LEVITON DECORA	600V	WHITE	
ALL DRY AREAS - RECEPTICALS	LEVITON DECORA DUPLEX	15 AMP AFCI TAMPERPROOF	WHITE	BREAKER IN PANEL
ALL WET AREAS - RECEPTICALS	LEVITON DECORA DUPLEX RECEPTICALS	20 AMP AFCI/GFCI TAMPERPROOF	WHITE	BREAKER AT POINT OF USE
ALL BEDROOMS	LEVITON DECORE DUPLEX RECEPTICALS	15 AMP AFCI TAMPERPROOF	WHITE	BREAKER IN PANEL
ALL AREAS EXTERIOR	LEVITON DECORE DUPLEX RECEPTICALS	15 AMP AFCI/GFCI TAMPERPROOF	GRAY COVER/WITH RECEPTICAL	

LIGHT FIXTURES

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
RECESSED LED CEILING LIGHTS 6" REMODEL CAN- 18 FAMILY ROOM KITCHEN MASTER BATH	COMMERCIAL ELECTRIC # H7SD6RICAT-6PK	LED T24 6" RECESS LIGHT HOUSING REMODEL	NA	
RECESSED LIGHT TRIM 6" -19 FAMILY ROOM KITCHEN MASTER BATH	COMMERCIAL ELECTRIC # N501CA06RR1-25S	RECESSED LED TRIM - 6"	WHITE	
KITCHEN - UNDERCABINET LIGHTS 12" -1	GE ENBRIGHTEN LED DIRECT WIRE # 35823-11	18" UNDER CABINET LED 3000K	WHITE	
KITCHEN - UNDERCABINET LIGHTS 24"-4	GE ENBRIGHTEN LED DIRECT WIRE	24" UNDER CABINET LED 3000K	WHITE	
KITCHEN PENDENT LIGHTS - 3	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
PANTRY	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
MASTER BEDROOM FOYER	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
MASTER BEDROOM PADDLE FAN LIGHT - 1	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
MASTER BATH - VANITY LIGHT BAR 4 LIGHT - 2	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
MASTER WALK IN CLOSET - 1	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA
EXTERIOR WALL LIGHTS -8	OWNER TO SELECT PRIOR TO FRAMING INSPECTION	NA	NA	NA

HVAC - VENT FANS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
MASTER BATH	AIR KING #DL45H	HUMIDITY SENSING EXHAUST FAN	WHITE	
POWDER ROOM	AIR KING #DL45H	HUMIDITY SENSING EXHAUST FAN	WHITE	
HVAC	BRYANT OR EQUAL 96% EFFICENT	TBS	NA	

EXTERIOR PAINTING (1 Coat Primer - 1 Coat Finish)

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
PRIMER - (ALL AREAS WHERE NECESSARY)	KELLY MOORE ACRYPLEX PVA	NA	MATCH EXISITNG	
STUCCO	KELLY MOORE ACRYSHIELD	#1420A FLAT	MATCH EXISITNG	ONE COAT PRIMER AND ONE COAT OF FINSH
TRIM, GUTTER & EAVES	KELLY MOORE ACRYSHIELD	#1248A LOU SHEEN	MATCH EXISITNG	ONE COAT PRIMER AND ONE COAT OF FINSH
MASTER BEDROOM DOOR	KELLY MOORE ACRYSHIELD	#1421 SATIN	MATCH EXISITNG	ONE COAT PRIMER AND ONE COAT OF FINSH - SPRAYED

INTERIOR PAINTING (1 Coat Primer - 1 Coat Finish) SEE PAINT SCHEDULE

LOCATION/TYPE	MANUFACTURER/MODEL	SHEEN	COLOR	NOTES
ALL TRIM/MILLWORK & DOORS				TO BE SPRAY PAINTED
WALLS - WET AREAS				TO BE SPRAYED AND/OR ROLLED
CEILINGS - WET AREAS				TO BE SPRAYED AND/OR ROLLED
WALLS - DRY AREAS				TO BE SPRAYED AND/OR ROLLED
CEILINGS - DRY AREAS				TO BE SPRAYED AND/OR ROLLED
				TO BE SPRAY PAINTED
ENTRY				
LIVING ROOM				
FAMILY ROOM				
KITCHEN				
PANTRY				
MASTER BEDROOM FOYER				
LAUNDRY				
POWDER ROOM				
MASTER BEDROOM				
MASTER CLOSET				
MASTER BATH				

PLUMBING FIXTURES & TRIM

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
KITCHEN - SINK	BLANCO #440178	BLANCO DIAMOND 1 3/4 BOWL UNDERMOUNT	CAFE BROWN	PURCHASE FROM BUILD.COM INCLUDES ACCESSORIES
KITCHEN - FAUCET	BRIZO # 63093LF-RB	TALO SINGLE HANDLE PULL DOWN FAUCET	VENETIAN BRONZE	
KITCHEN BASKET STRAINER	BLANCO # 441054	BASKET STRAINER	CAFE BROWN	
KITCHEN -WASTE FLANGE	BLANCO # 441059	WASTE FLANGE	CAFE BROWN	
KITCHEN - DISPOSAL	ISE 3/4 hp Evolution Pro750	NA	STAINLESS STEEL	
KITCHEN - AIR GAP KIT	BRIZO # 65060	AIR GAP BODY WITH COVER	VENETIAN BRONZE	
KITCHEN -- AIR SWITCH	BRIZO # 65080	COUNTERTOP AIR SWITCH	VENETIAN BRONZE	
MASTER BATH - SHOWER PAN	SEE TILE		VIBRANT BRUSHED NICKEL	
MASTER BATH - SHOWER DRAIN	SCHULTER KERDI DRAIN	KERDI DRAIN - COVER -FLORAL	OIL RUBBER BRONZE	
MASTER BATH - SHOWER VALVE	DELTA # T2089	MULTICHOICE UNIVERSAL INTEGRATED SHOWER DIVERTER ROUGH UNIVERSAL VALVE	NA	
MASTER BATH - SHOWER VALVE TRIM WITH DIVERTER	DELTA # T24897	TRADITIONAL VALVE TRIM WITH 3 FUNCTION DIVERTER TRIM	OIL RUBBER BRONZE	
MASTER BATH - SHOWER ARM	DELTA # RP46870RB	16" SHOWER ARM	VENETIAN BRONZE	
MASTER BATH - RAIN SHOWER HEAD	DELTA RP62555RB	UNIVERSAL SHOWERING RAINCAN	VENETIAN BRONZE	
MASTER BATH - HAND SHOWER KIT WITH HOSE & ELBOW	DELTA # 51600-RB	ADJUSTABLE SLIDE BAR/GRAB BAR ASSEMBLY WITH ELBOW	VENETIAN BRONZE	
MASTER BATH HAND SHOWER	DELTA # 75104	7 SETTING HAND SHOWER	VENETIAN BRONZE	
MASTER BATH - LAVATORY (2)	KOHLER #K 2210-0	CAXTON 17" X 14"	WHITE	
MASTER BATH - LAVATORY FAUCET (2)	DELTA # 35955-DST	VICTORIAN WIDESPREAD BATH FAUCET	VENETIAN BRONZE	
MASTER BATH - TOILET	KOHLER #K-5310-0	CIMARRON COMFORT HEIGHT TWO-PIECE ELONGARTED 1.28 GPF CHAIR HEIGHT TOILET	WHITE	
MASTER BATH - BIDET TOILET SEAT	BY OWNER			
MASTER BATH - TOILET TANK LEVER	DELTA # 73160-RB	CASSIDY UNIVERSAL TANK LEVER	VENETIAN BRONZE	
MASTER BATH - TOILET PAPER HOLDER	DELTA #13250-RB	WOODHURST TOILET PAPER HOLDER	VENETIAN BRONZE	
MASTER BATH - TOUEL RING	DELTA #13246-RB	WOODHURST TOUEL RING	VENETIAN BRONZE	
MASTER BATH - ROBE HOOK - 2	DELTA # 13235	WOODHURST ROBE HOOK	VENETIAN BRONZE	
MASTER BATH - 24" TOUEL BAR	DELTA # 13224	WOODHURST TOUEL BAR	VENETIAN BRONZE	
MASTER BATH - GRAB BAR	DELTA #41642-RB	42" TRADITIONAL DECORATIVE ADA GRAB BAR	VENETIAN BRONZE	
HEATED TOUEL BAR	AMBA JEEVES MODEL C STRAIGHT - CSO	HEATED TOUEL BAR 21 1/4" X 36 3/4" C 6 1/2"	OIL RUBBER BRONZE	
HEATED TOUEL BAR SWITCH /TIMER	AMBA # ATW-T24	HARDWAIRED PROGRAMABLE TIMER	WHITE	
WATER HEATER	TANKLESS WATER HEATER	RINNAI # RU199IN HIGH EFICENCY 11 GPM	NA	

PLUMBING ACESSORIES

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ALL BATHROOMS - TOILET SEALS (2)	DANCO PERFECT SEAL TOILET SEAL # 10718X	NA	NA	NA
KITCHEN AND MASTER BATH - ANGLE STOPS (1)	BRASSCRAFT OR EQUAL 1/4 TURN BALL VALVE	3/8" X 1/2" COMPRESSION	POLISHED CHROME	
KITCHEN AND BATH - WATER SUPPLY SINKS (6)	BRASSCRAFT OR EQUAL	20" BRAIDED STAINLESS	BRAIDED STAINLESS	NA
ALL BATHROOMS - WATER SUPPLY TOILETS (2)	BRASSCRAFT OR EQUAL	14" BRAIDED STAINLESS	BRAIDED STAINLESS	NA
BATHROOM - P-TRAPS (1)	BRASSCRAFT OR EQUAL	POLISHED CHROME OVER BRASS	POLISHED CHROME	NA
KITCHEN - P-TRAPS (1)	BRASSCRAFT OR EQUAL	POLISHED CHROME OVER BRASS	POLISHED CHROME	POLISHED CHROME ESCUSSIONS
KITCHEN - ICE MAKER WATER SUPPLY	BRASSCRAFT OR EQUAL	SIZED FOR REFRIGERATOR	BRAIDED STAINLESS	NA
REFRIGERATOR - ICEMAKER WATER OUTLET BOX	TECTITE # # RSBBOXM	**NOT TO BE CONNECTED TO REFRIGERATOR**	WHITE	
KITCHEN - DISHWASHER WATER SUPPLY	BRASSCRAFT OR EQUAL	SIZED FOR DISHWASHER	BRAIDED STAINLESS	NA

CABINETRY (Euro Hinges-Soft Close Doors & Drawers-Full Extension Drawers-Finished Interiors)

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
FAMILY ROOM FIREPLACE MANTLE &				
KITCHEN - BASE CABINETS	MEDALLION CABINETRY - GOLD SPECIES - MAPLE DOOR - BRIARWOOD DRAWER - SLAB	24" DEEP X 34 1/2" TALL	EAGLE ROCK SABLE GLAZE & HIGHLIGHT	
KITCHEN - WALL CABINETS	"	12" DEEP X 42" TALL	"	
KITCHEN - OVER REFRIGERATOR CABINET	"	37" WIDE X 24" TALL X 25" DEEP	"	
KITCHEN -ISLAND	"	7'-0" LONG 24" DEEP X 34 1/2" TALL WITH PANELS	"	
PANTRY - 2	"	24" DEEP X 36" X 96" TALL	"	
MASTER BEDROOM FOYER	"	24" DEEP X 34 1/2" TALL	"	
UPPER CORNER CABINET LAZY SUSAN	"	36 X 24" X 34 1/2"		
LOWER CORNER CABINET LAZY SUSAN	"			
PULL-OUTS	"			
VERTICAL TRAY DIVIDERS - 2	"			
CROWN MOULDING AT KITCHEN, PANTRY, MASTER BEDROOM FOYER ,MASTER BATH LINEN	"	TRADITIONAL STYLE	"	
MASTER BATH - VANITY CABINET	"	21" DEEP X 34 1/2" TALL	"	
MASTER BATH - LINEN CABINET	"	24" X 96" X 24"	"	
HANDLES & PULLS	TBS BY OWNER PRIOR TO COMMENCEMENT OF THE WORK			

QUARTZ COUNTERTOPS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
MASTER BATH - VANITY CABINET	QUARTZ - CAMBRIA	CROWNDALE		EASED EDGE -POLISHED CUT-OUT FOR UNDER MOUNT SINK - 4" SPLASH
KITCHEN	QUARTZ - CAMBRIA	BERWYN		EASED EDGE -POLISHED CUT-OUT FOR UNDER MOUNT SINK - NO SPLASH
PANTRY	QUARTZ - CAMBRIA	BERWYN		EASED MITER EDGE - NO SPLASH
MASTER BEDROOM FOYER	QUARTZ - CAMBRIA	BERWYN		EASED MITER EDGE - 4" SPLASH

CERAMIC TILE

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
1ST FLOOR TILE - COMPLETE INCLUDING MASTER BATH AND POWDER ROOM	TBS			
GROUT - FLOOR TILE	TBS			
FAMILY ROOM FIREPLACE SURROUND	TBS			
KITCHEN - BACKSPLASH	MODELLO TILE SLC 1.06	TITIAN IVORY TOUCH 4" X 12"		FULL BACK SPLASH
KITCHEN - BACKSPLASH DETAIL TILE	MODELLO TILE MSI SMOT GLSIL LUX8MM	LUXE INTERLOCKING GLASS 12" X 12" MESH MOUNT	SMOT	GLASS FEATURE STRIP
WARM FLOOR @ MASTER BATH				
MASTER BATH SHOWER PAN	ARIZONA TILE - CEMENTO	2 x 2 MOSAIC	CASSERO BEIGE	SQUARE SET
GROUT - MASTER BATH SHOWER PAN	TBS			
GROUT KITCHEN - PANTRY BACKSPLASH	TBS			

CULTURED STONE

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
LAUNDRY COUNTERTOPS				
MASTER BATH/SHOWER SURROUND	PIEDRAFINA	3 WALL INSTALLATION TO 84" ABOVE FINISHED FLOOR WITH RECESSED NICHE	TBS	

MIRRORS & SHOWER DOORS

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
MASTER BATH - VANITY MIRROR - 2 BY OWNER				
MASTER BATH - SHOWER DOOR ASSEMBLY	FABRICATED LOCALLY	60" X 80" BYPASS EURO STYLE SHOWER ENCLOSURE 5/16" GLASS FRAMELESS WITH 1 TOWEL BAR	CLEAR TEMPERED GLASS	OIL RUBBED BRONZE

FINISH FLOORING - SEE TILE

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
ENTRY INCLUDING CLOSET	**SEE TILE**			
NEW OFFICE				
FAMILY ROOM				
KITCHEN				
PANTRY				
MASTER BEDROOM FOYER				
MASTER BEDROOM				
MASTER BATHROOM				
MASTER WALK IN CLOSET				
LAUNDRY				
POWDER ROOM				

APPLIANCES - FRIEDMANS APPLIANCE

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
KITCHEN - GAS COOKTOP	WOLF 36" GAS COOKTOP	REINSTALL EXISITNG COOKTOP	STAINLESS STEEL	
KITCHEN - RANGE HOOD	WOLF PW362210	PRO LOW PPROFILE RANGE HOOD	STAINLESS STEEL	
KITCHEN - REFRIGERATOR	BOSCH B36CL80ENS	36 FRENCH DOOR REFRIGERATOR /WATER -	STAINLESS STEEL	COUNTER DEPTH
KITCHEN -SPEED OVEN	MIELE H6870BPT	PURE LINE M 30" SPEED OVEN	STAINLESS STEEL	
KITCHEN -SPEED OVEN	MIELE H6880ZBP	PURE LINE M 30" MOTURE PLUS OVEN	STAINLESS STEEL	
KITCHEN WARMING DRAWER	WOLF WWD30	30" WARMING DRAWER - WITH PANEL KIT	STAINLESS STEEL	
KITCHEN WARMING DRAWER PANEL	WOLF 808152	30" CABINET PANEL KIT	NA	
KITCHEN WARMING DRAWER CONTAINER	WOLF 808575	30" WARMING DRAWER CONTAINER SET	STAINLESS STEEL	
KITCHEN -DISWASHER	REINSTALL EXISITNG		STAINLESS STEEL	

FIREPLACE

LOCATION/TYPE	MANUFACTURER/MODEL	SIZE/SPECIFICATION	COLOR/TEXTURE	NOTES
FAMILY ROOM FIREPLACE	NAPOLEON GDIZC-SB	24000 BTU GAS FIREPLACE INSERT	TBS	

CAREY BROS. REMODELING
CA LIC: 442880
Morris Carey DESIGNER

CAREY BROS. REMODELING
REMODELING · KITCHENS · BATHS · ADDITIONS
2420 SAND CREEK RD. C-1318 BRENTWOOD, CA 94513
CA LIC # B442880 (925) 766-0189

LAWSON RESIDENCE REMODEL & ADDITION

120 YELLOWOOD PL. PITTSBURG, CA 94565
(925) 597-1559

FINISH SCHEDULE

SCALE
NO SCALE

REVISION DATE
NOVEMBER 10, 2021

DRAWN BY
MDC/CLC

SHEET #
A-18

GENERAL INFORMATION

01	Project Name	Lawson Room Addition & Remodel			
02	Run Title	Title 24 Analysis			
03	Project Location	120 Yellowood Place			
04	City	Pittsburg	05	Standards Version	2019
06	Zip code	94565	07	Software Version	EnergyPro 8.2
08	Climate Zone	12	09	Front Orientation (deg/ Cardinal)	105
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	AdditionAlteration	13	Number of Bedrooms	5
14	Addition Cond. Floor Area (ft^2)	720	15	Number of Stories	2
16	Existing Cond. Floor Area (ft^2)	2123	17	Fenestration Average U-factor	0.32
18	Total Cond. Floor Area (ft^2)	2843	19	Glazing Percentage (%)	9.25%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a
22	Is Natural Gas Available?	Yes			

COMPLIANCE RESULTS

01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY

Energy Use (kTDV/ft^2-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	32.92	29.63	3.29	10
Space Cooling	48.94	52.16	-3.22	-6.6
IAQ Ventilation	0	0	0	
Water Heating	15.75	15.75	0	0
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	**97.61**	**97.54**	**0.07**	**0.1**

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Window overhangs and/or fins

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Building-level Verifications:
- Quality insulation installation (QII)

Cooling System Verifications:
- Minimum Airflow
- Verified EER
- Verified SEER
- Fan Efficacy Watts/CFM

Heating System Verifications:
- -- None --

HVAC Distribution System Verifications:
- Duct leakage testing

Domestic Hot Water System Verifications:
- -- None --

BUILDING - FEATURES INFORMATION

01 Project Name	02 Conditioned Floor Area (ft^2)	03 Number of Dwelling Units	04 Number of Bedrooms	05 Number of Zones	06 Number of Ventilation Cooling Systems	07 Number of Water Heating Systems
Lawson Room Addition & Remodel	2843	1	5	2	0	1

ZONE INFORMATION

01 Zone Name	02 Zone Type	03 HVAC System Name	04 Zone Floor Area (ft^2)	05 Avg. Ceiling Height	06 Water Heating System 1	07 Water Heating System 2
House	Conditioned	(R) HVAC1	2123	8	DHW Sys 1	N/A
Addition	Conditioned	(R) HVAC1	720	8	DHW Sys 1	N/A

OPAQUE SURFACES

01 Name	02 Zone	03 Construction	04 Azimuth	05 Orientation	06 Gross Area (ft^2)	07 Window and Door Area (ft2)	08 Tilt (deg)	09 Wall Exceptions	10 Status	11 Verified Existing Condition
Front Wall	House	(E) R-11 Wall	105	Front	570	78	90	none	Existing	No
Left Wall	House	(E) R-11 Wall	195	Left	452	0	90	none	Existing	No
Back Wall	House	(E) R-11 Wall	285	Back	362	57	90	none	Existing	No
Right Wall	House	(E) R-11 Wall	15	Right	314	39	90	none	Existing	No
Left Wall 2	Addition	R-15 Wall	195	Left	126	20	90	Extension	New	n/a
Back Wall 2	Addition	R-15 Wall	285	Back	362	68	90	none	New	n/a
Right Wall 2	Addition	R-15 Wall	15	Right	126	42	90	Extension	New	n/a
Wall Adj, Garage	House>>__Garage__	(E) R-11 Wall1	n/a	n/a	336	20	n/a		Existing	No
Addition Interface	House>>Addition	(E) R-11 Wall1	n/a	n/a	362	0	n/a		Altered	No
Roof 2	House	Default Roof Prior to 197	n/a	n/a	1321	n/a	n/a		Existing	No
Roof 3	Addition	R-38 Roof Attic	n/a	n/a	720	n/a	n/a		New	n/a
Raised Floor	House	Floor Crawlspace Prior 19	n/a	n/a	803	n/a	n/a		Existing	No
Raised Floor 2	Addition	R-19 Floor Crawlspace	n/a	n/a	720	n/a	n/a		New	n/a
Floor Over Garage	House	Floor No Crwlspce Prior 1	n/a	n/a	326	n/a	n/a		Existing	No
Front Wall 2	__Garage__	Default Wall Prior 1978	105	Front	173.25	112	90	none	Existing	No
Left Wall 3	__Garage__	Default Wall Prior 1978	195	Left	58.5	0	90	none	Existing	No
Right Wall 3	__Garage__	Default Wall Prior 1978	15	Right	207	0	90	none	Existing	No

OPAQUE SURFACES - CATHEDRAL CEILINGS

01 Name	02 Zone	03 Construction	04 Azimuth	05 Orientation	06 Area (ft^2)	07 Skylight Area (ft^2)	08 Roof Rise (x in 12)	09 Roof Reflectance	10 Roof Emittance	11 Cool Roof	12 Status	13 Verified Existing Condition	14 Existing Construction
Roof	__Garage__	R-0 Roof	105	Front	101	0	4	0.1	0.85	No	Existing	No	

ATTIC

01 Name	02 Construction	03 Type	04 Roof Rise (x in 12)	05 Roof Reflectance	06 Roof Emittance	07 Radiant Barrier	08 Cool Roof	09 Status	10 Verified Existing Condition
Attic House	Attic RoofHouse	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Addition	Attic RoofAddition	Ventilated	4	0.1	0.85	Yes	No	New	n/a

FENESTRATION / GLAZING

01 Name	02 Type	03 Surface	04 Orientation	05 Azimuth	06 Width (ft)	07 Height (ft)	08 Mult.	09 Area (ft^2)	10 U-factor	11 U-factor Source	12 SHGC	13 SHGC Source	14 Exterior Shading	15 Status	16 Verified Existing Condition
Operable	Window	Front Wall	Front	105			1	58	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Operable 2	Window	Back Wall	Back	285			1	57	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Operable 3	Window	Right Wall	Right	15			1	33	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Added Window	Window	Right Wall	Right	15			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
1 Operable	Window	Left Wall 2	Left	195	5	4	1	20	0.32	NFRC	0.23	NFRC	Bug Screen	New	n/a
2 SGD	Window	Back Wall 2	Back	285	6	7	1	42	0.32	NFRC	0.22	NFRC	Bug Screen	New	n/a
3 Operable	Window	Back Wall 2	Back	285	2	3	1	6	0.32	NFRC	0.23	NFRC	Bug Screen	New	n/a
4 Operable	Window	Back Wall 2	Back	285	2	5	1	10	0.32	NFRC	0.23	NFRC	Bug Screen	New	n/a
5 Operable	Window	Back Wall 2	Back	285	2	5	1	10	0.32	NFRC	0.23	NFRC	Bug Screen	New	n/a
6 Operable	Window	Right Wall 2	Right	15	6	3.5	1	21	0.32	NFRC	0.23	NFRC	Bug Screen	New	n/a

OPAQUE DOORS

01 Name	02 Side of Building	03 Area (ft^2)	04 U-factor	05 Status	06 Verified Existing Condition
Opeque Door	Front Wall	20	0.5	Existing	No
Door	Right Wall 2	21	0.2	New	n/a
Opeque Door 2	Wall Adj, Garage	20	0.5	Existing	No
Garage Door	Front Wall 2	112	1	Existing	No

OVERHANGS AND FINS

01 Window	02 Overhang Depth	03 Overhang Dist Up	04 Overhang Left Extent	05 Overhang Right Extent	06 Overhang Flap Ht.	07 Left Fin Depth	08 Left Fin Top Up	09 Left Fin Dist L	10 Left Fin Bot Up	11 Right Fin Depth	12 Right Fin Top Up	13 Right Fin Dist R	14 Right Fin Bot Up	15 Status	16 Verified Existing Condition	17 Existing Construction
1 Operable	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	
2 SGD	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	
3 Operable	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	
4 Operable	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	
5 Operable	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	
6 Operable	1.33	0.89	2	2	0	0	0	0	0	0	0	0	0	New	NA	

SLAB FLOORS

01 Name	02 Zone	03 Area (ft^2)	04 Perimeter (ft)	05 Edge Insul. R-value and Depth	06 Edge Insul. R-value and Depth	07 Carpeted Fraction	08 Heated	09 Status	10 Verified Existing Condition
Slab-on-Grade	House	192	55.4	none	0	80%	No	Existing	No

SLAB FLOORS

01 Name	02 Zone	03 Area (ft^2)	04 Perimeter (ft)	05 Edge Insul. R-value and Depth	06 Edge Insul. R-value and Depth	07 Carpeted Fraction	08 Heated	09 Status	10 Verified Existing Condition
Slab-on-Grade 2	__Garage__	427	48.75	none	0	0%	No	Existing	No

OPAQUE SURFACE CONSTRUCTIONS

01 Construction Name	02 Surface Type	03 Construction Type	04 Framing	05 Total Cavity R-value	06 Interior / Exterior Continuous R-value	07 U-factor	08 Assembly Layers
Default Wall Prior 1978	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.302	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: Wood Siding/sheathing/decking
(E) R-11 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-11	None / None	0.11	Inside Finish: Gypsum Board Cavity / Frame: R-11 / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Roof	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-0	None / None	0.484	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
(E) R-11 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-11	None / None	0.099	Inside Finish: Gypsum Board Cavity / Frame: R-11 / 2x4 Other Side Finish: Gypsum Board

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LAWSON ROOM ADDITION & REMODEL
120 YELLOWOOD PLACE
PITTSBURG, CA 94565

California Building Energy Efficiency Certificates of Compliance

Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.

CZ 12

Project No.: EZ3123

Sheet No.: EC1

Energy Compliance

Date: 5-6-2021

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Attic RoofHouse	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofAddition	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Floor Crawlspace Prior 19	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.049	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x6
Default Roof Prior to 197	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.083	Over Ceiling Joists: R-1.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
Floor No Crwlspce Prior 1	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.53-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
(R) HVAC1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	Setback	Altered	No	1	1

HVAC - HEATING UNIT TYPES

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-95

HVAC - COOLING UNIT TYPES

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Mulit-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	12.5	16	Not Zonal	Single Speed	Cooling Component 1-hers-cool

HVAC COOLING - HERS VERIFICATION

01	02	03	04	05	06
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge
Cooling Component 1-hers-cool	Required	350	Required	Required	Not Required

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
			Duct Ins. R-value		Duct Location		Surface Area								
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist	New	n/a	n/a	n/a

HVAC DISTRIBUTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	5.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	HVAC Fan 1-hers-fan

HVAC FAN SYSTEMS - HERS VERIFICATION

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Required	0.45

HERS RATER VERIFICATION OF EXISTING CONDITIONS

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Steve Means	Documentation Author Signature: Steve K. Means
Company: EasyTitle24.com	Signature Date: 2021-05-06 12:56:22
Address: 654 Oakland Ave	CEA/ HERS Certification Identification (If applicable): R19-90-30028
City/State/Zip: Oakland, CA 94611	Phone: 925-671-4789

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Morris Carey	Responsible Designer Signature: Morris Carey
Company: CAREY BROS INC	Date Signed: 2021-05-06 15:12:33
Address: 2420 SAND CREEK ROAD C-1318	License: NA
City/State/Zip: BRENTWOOD, CA 94513	Phone: 877-734-6404 X123

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Easy to Verify at CalCERTS.com

Documentation Author:
easyTitle24.com
Tel. (415) 259-4068 or (925) 671-4789 e-mail: customer.service@easytitle24.com
654 Oakland Avenue, Oakland, CA 94611

LAWSON ROOM ADDITION & REMODEL
120 YELLOWOOD PLACE
PITTSBURG, CA 94565

California Building Energy Efficiency Certificates of Compliance

Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.

CZ 12

Project No.: EZ3123

Sheet No.: EC2

Energy Compliance

Date: 5-6-2021

Kitchen Range Hoods

Most Kitchen range hoods will be intermittently operated and vented to the outside, so they must have a minimum airflow rating of 100 CFM, and a maximum sound rating of 3.0 Sones (per ASHRAE 62.2). Range hoods must be chosen from this database: https://www.hvi.org/hvi-certified-products-directory/section-i-complete-product-listing/. Beware: Many of the products in that database do not meet the sound rating, and some do not meet the CFM requirement, so be careful when choosing.

If this fan will double as the exhaust-only "Indoor Air Quality Fan," then its sound rating must be 1.0 Sones or less, and it must meet the Wattage efficacy maximum shown in the "IAQ (Indoor Air Quality) Fans" section of the CF1R-PRF-01E Title 24 form. The CFM requirement for Kitchen hoods doubling as the IAQ fan is the greater of 5 Air Changes per Hour (ACH) for the room the hood is in, or the "IAQ CFM" shown in the CF1R-PRF-01E. In that case, the fan switch must be labeled as the "... indoor air quality ventilation for the house..." as required by ASHRAE 62.2. In-line and remote mounted fans that are further than 4 feet from the grille/register have no sound requirements. Save the box the unit comes in to show the HERS Rater. The HERS Rater will need to verify that the installed unit is listed in the above database, and meets the above criteria.

IAQ (Indoor Air Quality) Fans

If the "IAQ (Indoor Air Quality) Fans" section of Title 24 form CF1R-PRF-01E says "Not Required" under **HERS Verification**, then this type of fan is not required.

If the "IAQ (Indoor Air Quality) Fans" section says "Yes" under **HERS Verification**, then this type of fan is required. Appropriate products must normally be chosen from this directory: https://www.hvi.org/hvi-certified-products-directory/section-i-complete-product-listing/. For very small dwellings, a thru-wall unit might be ideal; however, those are not currently listed in the directory (see Note at bottom). Be sure to save the box the unit comes in to show the HERS Rater. Next, look under the heading **IAQ Fan Type** and go to the appropriate bullet-point:

- **Default:** This normally means an exhaust-only (negative pressure) system. Often, a Bathroom exhaust fan will double as the IAQ fan. If a Kitchen hood fan will double as the IAQ fan, then see the "Kitchen Range Hoods" section above. The fan's sound rating cannot be higher than 1.0 Sones (unless it is a remote in-line fan at least 4 feet from the grille/register). The number under **IAQ CFM** is the minimum CFM rating at a static pressure of 0.25 in. The number under **IAQ Watts/CFM** is multiplied times the CFM rating of the chosen fan to determine the wattage rating that it cannot exceed. If the chosen fan's wattage is too high, then you must choose a different product that meets the given fan watt efficacy. The HERS Rater will measure the airflow, and look at product specifications to find the rated wattage.
- **Supply:** This allows the most flexibility, as it is the worst-case. The procedure for choosing and HERS testing the fan are essentially the same as for "Default" fans, see above. This type of fan must not be installed in a Bathroom!
- **Balanced HRV:** This is normally a Heat Recovery Ventilator (HRV); although Energy Recovery Ventilators (ERV) may also be installed, but those are better in humid climates. In addition to meeting the minimum **IAQ CFM** and maximum **IAQ Watts/CFM** (for the *average* supply/return airflow), these fans have three more requirements: 1) The Apparent Sensible Recovery Efficiency (ASRE) in the directory must be equal to, or greater than, the number under **IAQ Recovery Effectiveness (%)** on the CF1R-PRF-01E form; 2) The installed exhaust airflow rate cannot be more than 20% more or less than the supply airflow rate; and 3) MERV-13 or HEPA filtration capability (check manufacturer's literature). These criteria are not be immediately apparent in the directory listing, and these units often have variable speed settings. To discover if a particular fan—at a particular speed setting—meets these requirements at 32°F and 0.25 in WC, you have to click the "More Details" button for the particular fan within the directory. HRV fans have 4 ports: exhaust from inside, supply to inside, exhaust to outside, and intake from outside. Only the exhaust from inside leg may run from a Bathroom. Follow manufacturer's installation instructions. Units must be accessible for filter changing. Jump ducts, and/or significant door undercuts may be necessary for good airflow throughout the dwelling. The HERS Rater will measure both the supply and exhaust airflows, and look at product specifications to find the rated wattage and recovery efficiency.

Note: If a **thru-wall HRV fan** is mentioned in the PROJECT NOTES section of the energy compliance report, allowing it is at the discretion of the building official (planchecker), because those kinds of units are not yet listed by HVI. This note hereby brings this to the attention of the building official. If these plans are approved, then the fan mentioned in PROJECT NOTES is allowed.

Note: If an HRV unit will be connected to the HVAC return, and controlled in tandem with the cycling FAU fan, then the minimum IAQ CFM shall be **triple** that listed in this report. (HVAC fans are assumed to be on 20 minutes each hour.)

2019 Low-Rise Residential Mandatory Measures Summary

*NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.* (01/2020)

Building Envelope Measures:	
§ 110.6(a)1:	**Air Leakage.** Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	**Labeling.** Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	**Field fabricated exterior doors and fenestration** products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	**Air Leakage.** All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	**Insulation Certification by Manufacturers.** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	**Insulation Requirements for Heated Slab Floors.** Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	**Roofing Products Solar Reflectance and Thermal Emittance.** The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	**Radiant Barrier.** When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	**Ceiling and Rafter Roof Insulation.** Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	**Loose-fill Insulation.** Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	**Wall Insulation.** Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.*
§ 150.0(d):	**Raised-floor Insulation.** Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	**Slab Edge Insulation.** Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	**Vapor Retarder.** In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	**Vapor Retarder.** In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	**Fenestration Products.** Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Decorative Gas Appliances, and Gas Log Measures:	
§ 110.5(e)	**Pilot Light.** Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	**Closable Doors.** Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	**Combustion Intake.** Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)3:	**Flue Damper.** Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*
Space Conditioning, Water Heating, and Plumbing System Measures:	
§ 110.0-§ 110.3:	**Certification.** Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.*
§ 110.2(a):	**HVAC Efficiency.** Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*
§ 110.2(b):	**Controls for Heat Pumps with Supplementary Electric Resistance Heaters.** Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.*
§ 110.2(c):	**Thermostats.** All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)4:	**Water Heating Recirculation Loops Serving Multiple Dwelling Units.** Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.
§ 110.3(c)6:	**Isolation Valves.** Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	**Pilot Lights.** Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.*
§ 150.0(h)1:	**Building Cooling and Heating Loads.** Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(h)3A:	**Clearances.** Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer
§ 150.0(h)3B:	**Liquid Line Drier.** Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	**Storage Tank Insulation.** Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	**Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation.** All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	**Insulation Protection.** Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	**Gas or Propane Water Heating Systems.** Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.
§ 150.0(n)2:	**Recirculating Loops.** Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	**Solar Water-heating Systems.** Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans Measures:	
§ 110.8(d)3:	**Ducts.** Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	**CMC Compliance.** All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.*
§ 150.0(m)2:	**Factory-Fabricated Duct Systems.** Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	**Field-Fabricated Duct Systems.** Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	**Backdraft Damper.** Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	**Gravity Ventilation Dampers.** Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	**Protection of Insulation.** Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	**Porous Inner Core Flex Duct.** Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	**Duct System Sealing and Leakage Test.** When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.
§ 150.0(m)12:	**Air Filtration.** Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*
§ 150.0(m)13:	**Space Conditioning System Airflow Rate and Fan Efficacy.** Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

2019 Low-Rise Residential Mandatory Measures Summary

Requirements for Ventilation and Indoor Air Quality:	
§ 150.0(o)1:	**Requirements for Ventilation and Indoor Air Quality**. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	**Single Family Detached Dwelling Units.** Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	**Multifamily Attached Dwelling Units.** Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(o)1F:	**Multifamily Building Central Ventilation Systems.** Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(o)1G:	**Kitchen Range Hoods.** Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	**Field Verification and Diagnostic Testing.** Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa Systems and Equipment Measures:	
§ 110.4(a):	**Certification by Manufacturers.** Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b)1:	**Piping.** Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	**Covers.** Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	**Directional Inlets and Time Switches for Pools.** Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	**Pilot Light.** Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	**Pool Systems and Equipment Installation.** Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.*
Lighting Measures:	
§ 110.9:	**Lighting Controls and Components.** All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.*
§ 150.0(k)1A:	**Luminaire Efficacy.** All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	**Blank Electrical Boxes.** The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.
§ 150.0(k)1C:	**Recessed Downlight Luminaires in Ceilings.** Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	**Electronic Ballasts for Fluorescent Lamps.** Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)1E:	**Night Lights, Step Lights, and Path Lights.** Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	**Lighting Integral to Exhaust Fans.** Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	**Light Sources in Drawers, Cabinets, and Linen Closets.** Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	**Interior Switches and Controls.** All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	**Interior Switches and Controls.** Exhaust fans must be controlled separately from lighting systems.*
§ 150.0(k)2C:	**Interior Switches and Controls.** Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*
§ 150.0(k)2D:	**Interior Switches and Controls.** Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2E:	**Interior Switches and Controls.** Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).
§ 150.0(k)2F:	**Interior Switches and Controls.** Lighting controls must comply with the applicable requirements of § 110.9.

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§ 150.0(k)2G:	**Interior Switches and Controls.** An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	**Interior Switches and Controls.** A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
§ 150.0(k)2I:	**Interior Switches and Controls.** In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J:	**Interior Switches and Controls.** Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*
§ 150.0(k)2K:	**Interior Switches and Controls.** Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)3A:	**Residential Outdoor Lighting.** For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aiii (astronomical time clock), or an EMCS.
§ 150.0(k)3B:	**Residential Outdoor Lighting.** For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	**Residential Outdoor Lighting.** For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	**Internally illuminated address signs.** Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	**Residential Garages for Eight or More Vehicles.** Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	**Interior Common Areas of Low-rise Multifamily Residential Buildings.** In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	**Interior Common Areas of Low-rise Multifamily Residential Buildings.** In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Buildings:	
§ 110.10(a)1:	**Single Family Residences.** Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	**Low-rise Multifamily Buildings.** Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	**Minimum Solar Zone Area.** The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*
§ 110.10(b)2:	**Azimuth.** All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)3A:	**Shading.** The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	**Shading.** Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	**Structural Design Loads on Construction Documents.** For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	**Interconnection Pathways.** The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	**Documentation.** A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	**Main Electrical Service Panel.** The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	**Main Electrical Service Panel.** The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

§10-103(b)1.A: Compliance Information. At final inspection, builder/installers shall leave in the building copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

§10-103(b)2: Operating Information. At occupancy, builder/installers shall leave in the building, or with the owner, operating information for all applicable features, materials, components, and mechanical devices installed in the building. Operating information shall include instructions on how to operate the features, materials, components, and mechanical devices correctly and efficiently. For dwelling units, such information shall be provided to the person(s) responsible for operating the feature, material, component or mechanical device installed in the building. This operating information shall be in paper or electronic format.

§10-103(b)3: Maintenance Information. At occupancy, builder/installers shall leave in the building maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. For low-rise residential buildings, this information shall include a schedule of all interior luminaires and lamps installed to comply with Section 150.0(k). For dwelling units, such information shall be provided to the person(s) responsible for operating the feature, material, component or mechanical device installed in the building (often the owner). This operating information shall be in paper or electronic format.

§10-103(b)4: Ventilation Information. New dwellings and additions larger than 1,000 sqft: At occupancy, builder/installers shall leave in the building for the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. For buildings or tenant spaces that are not individually owned and operated, or are centrally operated, such information shall be provided to the person(s) responsible for operating and maintaining the feature, material, component or mechanical ventilation device installed in the building. This information shall be in paper or electronic format.

Installation and Acceptance forms can be downloaded from appropriate links here: https://efiling.energy.ca.gov/Lists/DocketLog.aspx?docketnumber=18-BSTD-02.

Certified HERS raters can be contacted through the HERS providers' websites linked here: https://www.energy.ca.gov/programs-and-topics/programs/home-energy-rating-system-hers-program

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California Building Energy Efficiency Certificates of Compliance

Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.

CZ 12

Project No.: EZ3123

Date: 5-6-2021

Sheet No.: EC3

Energy Compliance

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN
SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

☑ ☐ Contractor **4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.** Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

☑ ☐ Contractor **4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

☐ ☒ **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code,* Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no commercial power supply.
   1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than $400.00 per dwelling unit.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

☐ ☒ ☐ **4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.** For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

☐ ☒ ☐ **4.106.4.2 New multifamily dwellings.** If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

Notes:
1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

☐ ☒ **4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code,* Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The EV space shall be located on an accessible route, as defined in the *California Building Code,* Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the *California Building Code,* Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

Note: Electric Vehicle charging stations serving public housing are required to comply with the *California Building Code,* Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).
3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
   a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

☐ ☒ **4.106.4.2.3 Single EV space required.** Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

☐ ☒ **4.106.4.2.4 Multiple EV spaces required.** Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

☐ ☒ **4.106.4.2.5 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

☐ ☒ **4.106.4.3 New hotels and motels.** All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

Notes:

1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486mm).
2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the *California Building Code*, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY
4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
4.303 INDOOR WATER USE

☑ ☐ Contractor **4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

☑ ☐ Contractor **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

☐ ☒ **4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

☑ ☐ Contractor **4.303.1.3 Showerheads.**

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

☑ ☐ Contractor **4.303.1.4 Faucets.**

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND
IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

☐ ☐ Contractor **4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS**. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

☑ ☐ Contractor **4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

☑ ☐ Contractor **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

☑ ☐ Contractor **4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN**. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

☐ ☒ **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

☐ ☒ **4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

☑ ☐ Contractor **4.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

☑ ☐ Contractor **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

☐ ☒ **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY
SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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PITTSBURG, CA 94565

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

☑ ☐ Contractor

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

☑ ☐ Contractor

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

☑ ☐ Contractor

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

☑ ☐ Contractor

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

☑ ☐ Contractor

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

☑ ☐ Contractor

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

☑ ☐ Contractor

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS.

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

☑ ☐ Contractor

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

☑ ☐ Contractor

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

☑ ☐ Contractor

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

☑ ☐ Contractor

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

☑ ☐ Contractor

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

☑ ☐ Contractor

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

☑ ☐ Contractor

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

☑ ☐ Contractor

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

☑ ☐ Contractor

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

☑ ☐ Contractor

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code.*

4.507 ENVIRONMENTAL COMFORT

☑ ☐ Contractor

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

☑ ☐ Contractor

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

☑ ☐ Contractor

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

☑ ☐ Contractor

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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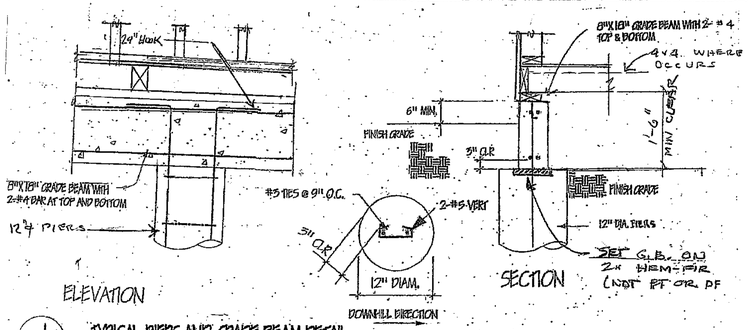
STRUCTURAL NOTES

1. All details of construction shall be conform with the 2019 edition of the California Building Code (CBC).
2. Where certain construction feature are not fully shown, the construction shall be similar to detailed conditions shown elsewhere. Similar conditions are often described rather than drawn within the basic detail. The shop drawings shall detail all conditions.
3. The General Building Contractor shall be solely responsible for all excavation procedures including lagging, shoring and the protection of adjacent property, structures, streets and utilities.
4. Structural concrete shall have a 5 sack cement mix with 1-1/2" maximum aggregate and a slump of 4" +/- 1", and shall obtain a compressive strength of 2500 psi for concrete slab on grade, and 3000 psi for grade beams and piers at 28 days. Concrete shall be cured in accordance with ACI 318-14, Chapter 5. Design based on f'c = 2500 psi, no special inspection is required.
6. Reinforcing steel shall be ASTM 615, deformed bars, grade 60, Minimum lap splices for bar sizes shall be as follow:
   #3 ~ 1'-6" #4 ~ 2'-0" #5 ~ 2'-6" #6 ~ 3'-0"
   #7 ~ 3'-6"
10. Metal connectors, holdowns, straps, etc. designated on plans are Simpson "Strong Tie". Equivalent hardware may be used. All hardware shall be installed in accordance with manufacturer's recommendation and standards.
11. Unless otherwise noted, framing lumber shall be as follows:
    (a) Posts and beams: D.F. #1 and better F.C.H.C.
    (b) Other framing lumber: D.F. #2 and better
    (c) Studs: Stud or better
    (d) Mudsills: Pressure treated D.F.
    All wood in contact with concrete or soil, and permanently exposed to the weather must be pressure treated in accordance with AWPI Standa
24. Existing construction and related new work are shown and noted per existing drawings. Should the as-built construction differ from it shown, the contractor shall notify the Architect and the Engineer prior to continue with any related work.
25. The contractor shall provide shoring to the new and existing construction through out all construction phases. The contractor is responsible for the design and construction of any temporary bracing, included but not limited to lateral force resisting elements required to resist wind, earth or earthquake forces during construction. The Engineer job site observation is not intended to include for the adequacy of the contractor's safety measures.
26. If the project is revised or conditions different from those detailed are encountered during construction, the Engineer shall be notified immediately.
27. Each contractor shall familiarize himself with all specified details and products relating to his work and submit written objections prior to bidding if the contractor has an objection to any detail, product and/or discrepancies between drawings and specifications.
28. Construction review is not a mandatory requirement by the structural engineer office, and LYA structural engineers are not in contract with the property owner to perform such service. It is our recommendation to the property owner that to have the project structural engineer perform construction review on the structural items of the construction. The Contractor shall give the Engineer at least 48 hours notices, so that the Engineer can conduct on-site construction review.
12. Larson, Yuen Associates, Inc., Structural Design Engineer, is not responsible for any other aspect of the structural design other than shown on the Structural Drawings, nor does the Engineer assume any duty to provide supervision of construction methods and processes.

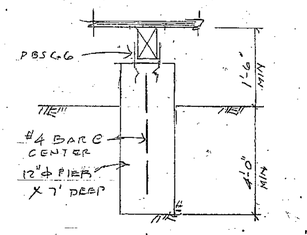
SHEARWALL SCHEDULE

Symbol	Shear Diaphragm/ Edges Nailing	Base Plate Nailing	Sill Bolts Spacing	Rim jst/blk'g to top plate / sill connection	Allow. Shear Capacity
A	15/32" C-DX Plywd/ 8d @ 6" o.c.	6" o.c. 2x Plate	4'-0"o.c. 2x Plate	Simpson A35 @ 24" o.c.	260 lb/ft
B	15/32" C-DX Plywd/ 8d @ 4" o.c.	4" o.c. 2x Plate	2'-6"o.c. 2x Plate	Simpson A35 @ 16" o.c.	350 lb/ft
C	15/32" C-DX Plywd/ 8d @ 3" o.c. 3x stud @ plywd joint	SDS6 6" o.c 2x plate	2'-0"o.c. on 3 x plate or 1'-0"o.c. on 2 x plate	Simpson A35 @ 12" o.c.	490 lb/ft

Notes:
1. Plywood to C-DX STR II minimum, nailed directly to studs with field nailing at 12" on center. For edge nailing, refer to schedule.
2. All nails shall be common nails, 8d or 10d as specified above.
3. All base plate nails are 16d common nails.
4. All nails fasten to pressure treated wood must be galvanized.
5. All sill bolts are 5/8" diameter x 12"long galvanized with 3"x3"x1/4" thick platewashers.
6. Pre-drill nail holes for 8d @ 2"o.c.; 10d @3"o.c.; 16d @ 4"o.c. or less.
7. All nails shall have a minimum penetration as set forth in the 2016 CBC, table 2304.9.1.
8. When no tie-downs is indicated on the plans, corner studs shall be nailed to each other with 16d @ 8" o.c.
9. Where shear wall has not been indicated, all framing nailing shall conform to table 2304.9.1 of the 2016 CBC.
10. 20d nails to be 3-3/8" long minimum.
11. For shearwall with plywood on both faces, stagger plywood joints on different stud.
12. At existing wall, upgrade anchor bolts spacing with 5/8" diameter expansion bolts with a minimum of 5" embedment as anchor bolts.
13. Shearwall types other than A and B, foundation sill plates and all framing members receiving edge nailing from abutting panels shall not be less than a single 3x nominal member and foundation sill plates shall not be less than a single 3x nominal member.
14. Use galvanized nails when fasten to pressure treated member. Galvanized nails shall be hotdipped or tumbled.
15. Plywood may be installed either horizontally or vertically. For shearwalls more than one vertical panel in height shall have either vertical or horizontal staggered spliced joints. At continuous horizontal joints, the blocking shall be 3" nominal or thicker. Flat blocking receiving 10d nails shall be 3" x 4" nominal or larger.



1 / S1 TYPICAL PIERS AND GRADE BEAM DETAIL



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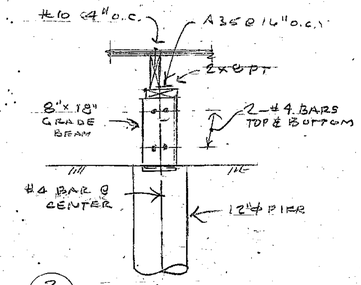

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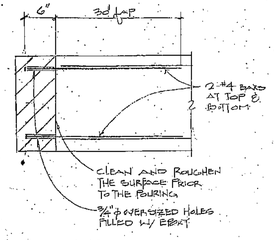
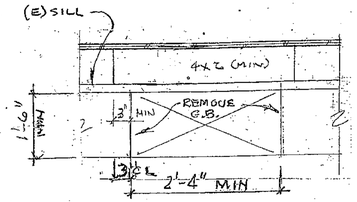
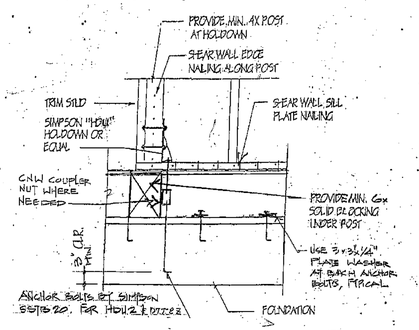


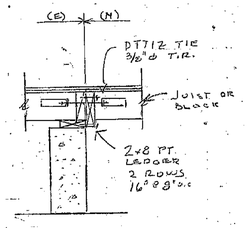
4 / S1 NEW TO EXISTING CONNECTION



5 / S1 UNDERFLOOR ACCESS



6 / S1



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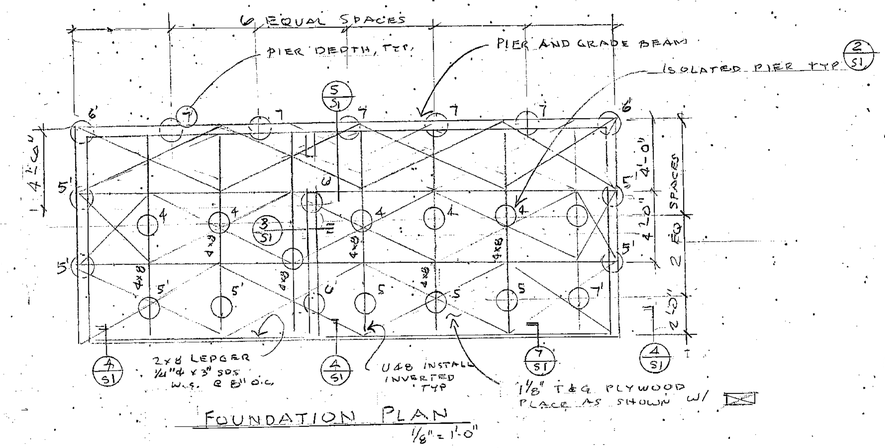
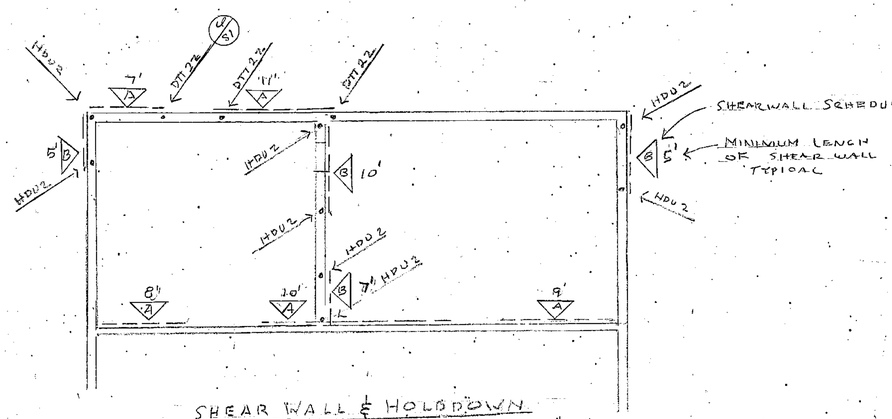


FOUNDATION PLAN
1/8" = 1'-0"



SHEAR WALL & HOLDDOWN
1/8" = 1'-0"

LYA Larson, Yuen Associates, Inc.
Structural Design Engineers
1007 Almaper Lane, Lafayette, CA 94549
925-284-1867 Fax
925-284-1957

REVISIONS

LAWSON RESIDENCE
REMODEL & ADDITION
PITTSBURG, CA 94565
(925) 957-1888

FOUNDATIONS

STEPHANE P. LAWSON — No. S1391 — Registered Structural Engineer — Renews MAR 2021 — STATE OF CALIFORNIA

DATE: NOVEMBER 2021
PROJECT No.: 3758
DRAWN BY: SPL
SHEET: S1
OF 1 SHEETS


BEWARE of DOG
12C
12D


BEWARE of DOG
Security Cameras In Use
120
120
PROPERTY OF
C.P.O.R. WASTE
(925) 682-9113

Property Development Regulations Table

120 Yellowood Place, AP-21-1608 (VA)

Development Regulations: *RS-6 (Community Commercial) District*	**Required:**	**Proposed:**
Minimum lot area (SF):	6,000 SF	14,160 SF
Minimum lot width (ft):	60 ft.	68 ft
Minimum Yards:	-	-
Front:	20 ft.	20 ft.
Side:	5 ft.	0 ft.
Rear:	10 ft.	10 ft.
Maximum height of structures (ft):	28 ft.	< 28 ft.
Maximum lot coverage:	40%	20%
Maximum FAR:	-	-
Minimum site landscaping:	-	-
Parking Required for RS-6:	2 spaces per unit, including 1 covered	2 spaces

Letter of Consent

Regarding the Carport and Shed at 120 Yellowood Pl, Pittsburg, Ca 94565

We, the undersigned who live at the property listed below do not have issue with the height or proximity of the Carport and shed at 120 Yellowood Place that abuts Yellowood Lane. Furthermore, we feel the Carport and shed should remain as they are. The structures were in place prior to Lloyd & Louise Lawson purchasing the home in 2004. They are aesthetically pleasing and add value to our neighborhood.

Address	Name (printed)	Signature	Date
4453 Yellowood Lane	BRUNO ADAMS	[signature]	11/24/21
4453 Yellowood Lane	[illegible]	Sofia Armas	11/24/21
4449 Yellowood Lane	Miguel Hinojosa	[signature]	11-27-21
4449 Yellowood Lane	Araceli Hinojosa	[signature]	11/27/2021
4445 Yellowood LANE	Leticia Belasco	[signature]	11/28/21
4445 Yellowood LANE	Matthew Belasco	[signature]	11/28/21
131 Yellowood Pl	Jasmin Howard	[signature]	11/30/21
131 Yellowood Pl	Paul Howard	[signature]	11/30/21
121 Yellowood Pl	Kimberly Kee	[signature]	11.26.21
121 Yellowood Pl	Michael Kee	Michael Kee	11.26.21
110 Yellowood Pl	SYED KHALID JAMIL	[signature]	11/24/2021
110 Yellowood Pl	Qamar Ara Khanum	Qamar Ara Khanum	11/30/2021
111 Yellowood Pl	Rudaina [illegible] Tzimbal	Rudaina Hussain-Tzimbal	11/24/21
111 Yellowood Pl		ROBERT TZIMBAL	
100 Yellowood Pl	Unoccupied		
4476 St John Lane	Myrdell Dybdal	Myrdell Dybdal	11/24/2021
4476 St John Lane	Charles Dybdal	[signature]	11-24-2021
4484 St John Lane	— — — — —	— — — — —	— —
4484 St John Lane	Cynthia Gregg	Cynthia Gregg	11/30-2021
4481 St John Lane	Michael Marshall	Michael D. Marshall	11/24/21
4481 St John Lane	Adrienne Marshall	Adrienne Marshall	11/24/21
4473 Valle Vista			
4473 Valle Vista	Steve / Page	[signature]	11/27/21
4469 Valle Vista			
4469 Valle Vista			
4465 Valle Vista	Douglas R Stepney	Douglas R STEPNEY	11-27-21
4465 Valle Vista			
4453 Yellowood Ln	Victor Solis	[signature]	11-24-21
4477 St. John Ln	Cherie C. Persing	Cherie C. Persing	11/24/2021
4477 St. John Ln	Chris Persing	[signature]	11/24/2021
101 Yellowood Pl	[illegible]	[illegible] Faye Farha	11/24/2021
4484 St. Johns Ln	CYN		

City of Pittsburg
Community Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **ZONING ADMINISTRATOR** of the City of Pittsburg will conduct an online public meeting on:

DATE: **January 14, 2022**
TIME: **3:00 p.m.**
PLACE: **Zoom Teleconference** **(see public advisory on last page)**

Concerning the following matter:

Variance for 120 Yellowood Place, AP-21-1608 (VA)
This is a public hearing on a request for Zoning Administrator approval of a variance to: 1) Reduce the side yard setback from five-feet to zero-feet to legalize two existing unpermitted structures. The existing structures are an attached carport and detached shed of 100 square-feet, which currently encroach into the required five-foot side yard setback located at 120 Yellowood Place in the RS-6 (Single-Family Residential, 6,000 Square Foot Minimum) District. Assessor Parcel Number: 089-360-031.

PROJECT PLANNER: Kelsey Gunter, (925) 252-4824 or kgunter@pittsburgca.gov

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Why am I receiving this notice?
You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?
The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

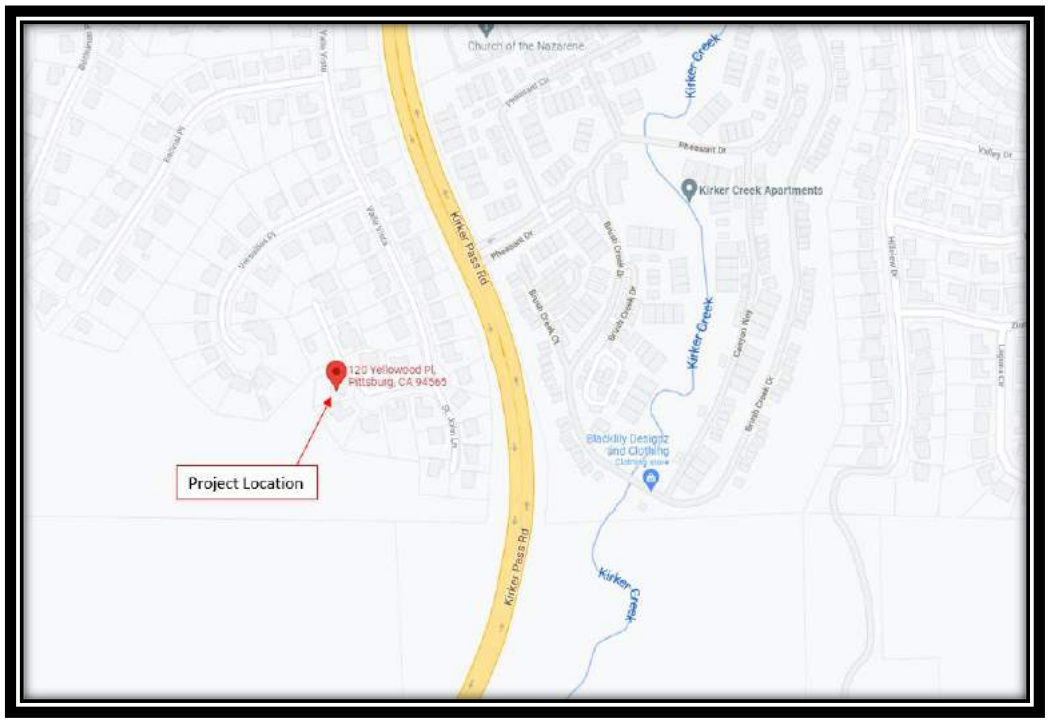
What can I do if I have comments on the project?
Comments or objections to the project can be made by writing or through oral testimony during the public hearing. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565. You may also register your comments or objections by participating in the Zoom Teleconference on the date and time listed above.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

Para información en español:
(925) 252-4920

JOHN FUNDERBURG
ZONING ADMINISTRATOR

Project Title: Variance for 120 Yellowood Place, AP-21-1608 (VA)
Location: 120 Yellowood Place
APN: 089-360-031



PUBLIC ADVISORY:
CITY HALL WILL NOT BE OPEN TO THE PUBLIC

This meeting will be held in compliance with California Government Code Section 54953(e)(2), which was added by Assembly Bill 361 which became effective Oct. 1, 2021, pursuant to the Governor's Executive Order N-15-21.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, City Hall will not be open for the meeting. **The meeting of the Zoning Administrator for January 14, 2022,** will be conducted telephonically and video conferencing through Zoom.

Note: The Zoning Administrator will not be physically present at City Hall.

The public will participate via Zoom. Members of the public may comment live via Zoom video conferencing. Download Zoom from its website: www.zoom.com. Zoom also allows you to join the meeting by phone. Join the meeting at any point but be sure you are in the meeting prior to the Zoning Administrator consideration of the item on which you would like to provide comment.

From a PC, Mac, iPad, iPhone, or Android:

- **Webinar ID: 878 7883 0406**
- **Passcode: 744045**
- **By phone: US: 1-669-900-9128, *744045**

Speakers are asked to provide their name and city of residence for the record, although providing this is not required for participation.

Each speaker will be afforded up to 3 minutes to speak (at the discretion of the Mayor/Chair).

When the Administrator opens a public comment period on the item on which you would like to comment, please use the "Raise Hand" feature (or press *9 if connecting via telephone) which will alert staff that you have a comment to provide. You will be invited to speak when it is your turn. Speakers will be muted until their opportunity to provide public comment. You will not be seen or heard until it is your turn to speak. You will be muted again after the allotted time to speak. Just as in a live meeting inside the Council Chamber, only one comment per agenda item per person is allowed.

When making public comment during the meeting, please

1. Try to be in a room or space without a lot of background noise.
2. Mute your microphone until it is your turn to speak, then mute your speakers while speaking.
3. Have a strong, reliable internet connection or cell phone signal.

The City of Pittsburg thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.